

Planning Committee Meeting

17 May 2011

Attachments to Planning Applications

Part 4

Item No.

- 4.7 71 Tramway Parade, Beaumaris
- 4.8 77 Bonanza Road, Beaumaris

Planning Committee Meeting

17 May 2011

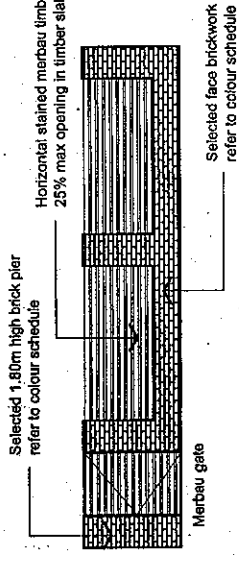
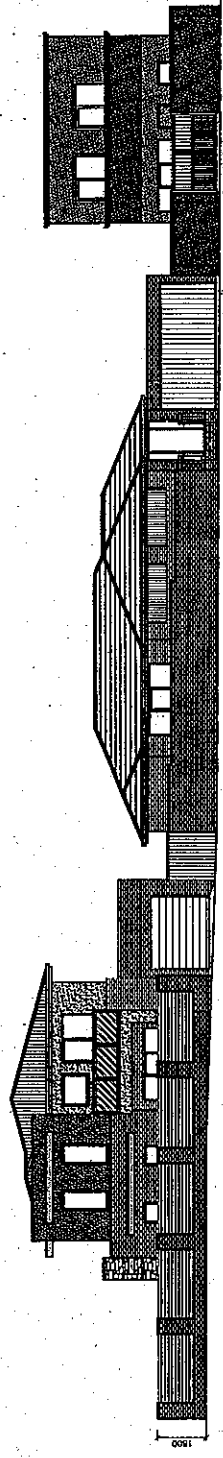
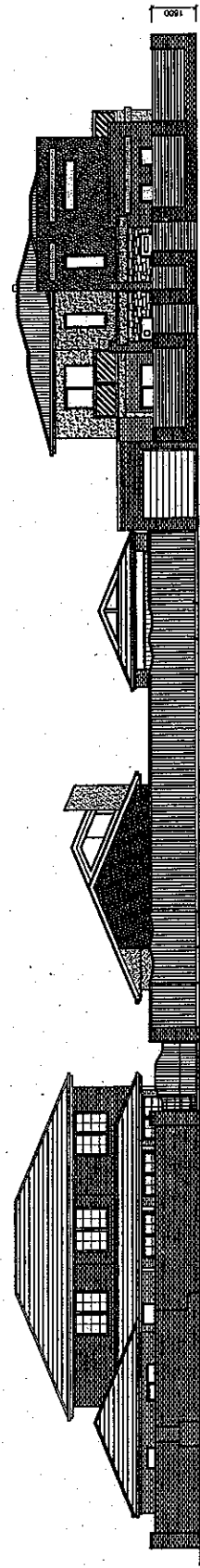
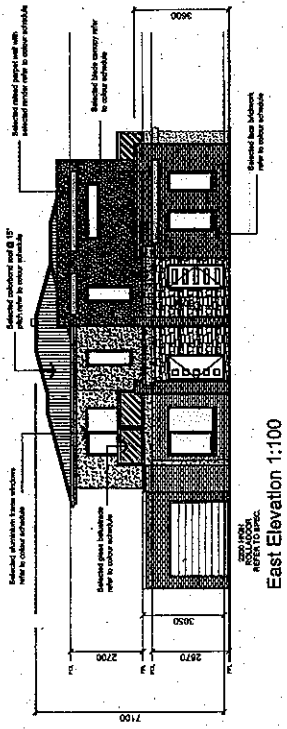
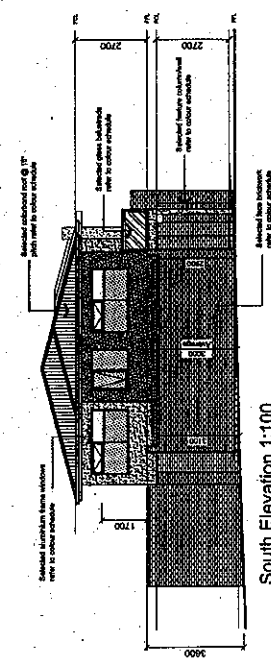
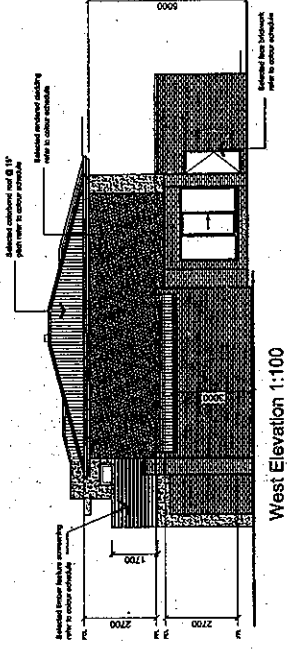
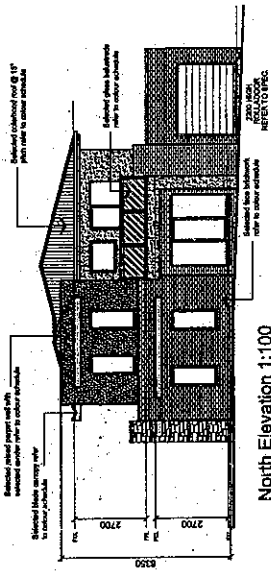
Item 4.7

**71 Tramway Parade, Beaumaris
(Application No. 2010/0782/1 – Ward: Southern)**

Pages: 7

ADVERTISED PLAN

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24 FEB 2017
PLANNING
DUMFRIES



Selected 1.80m high brick pier refer to colour schedule

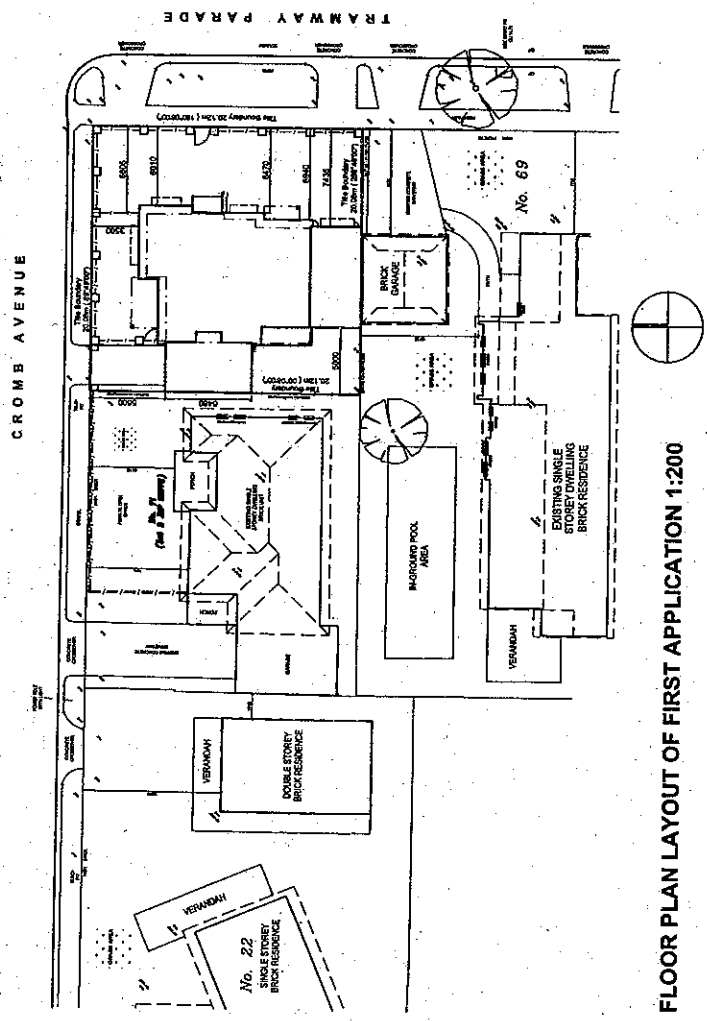
Merbau gate

Horizontal stained merbau timber 25% max opening in timber slats

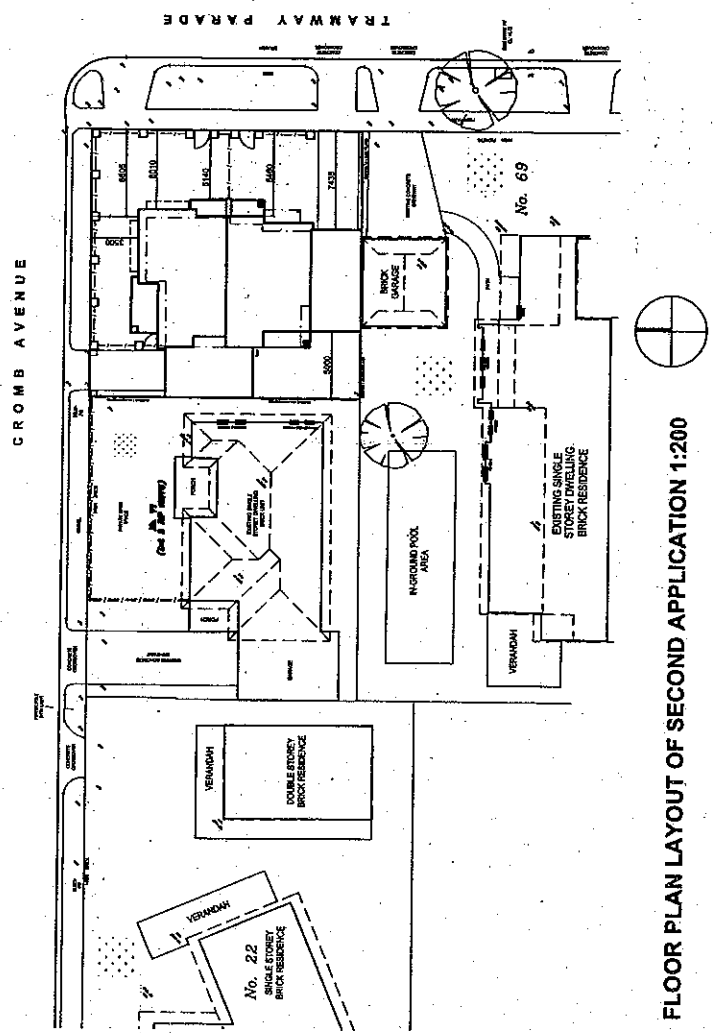
Selected face brickwork refer to colour schedule

ADVERTISE PLAN

24 FEB 2011

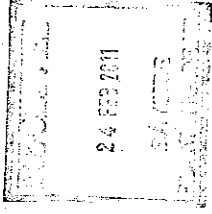


FLOOR PLAN LAYOUT OF FIRST APPLICATION 1:200

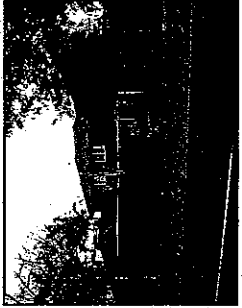


FLOOR PLAN LAYOUT OF SECOND APPLICATION 1:200

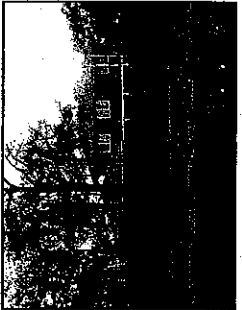
ADVERTISE PLAN



Residence No 69



Residence No 67

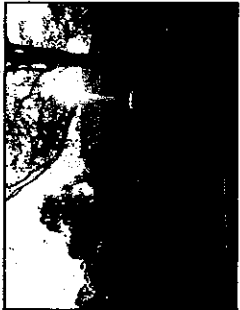


Residence No 67



Residence No 65

Tramway Parade Photo Montage

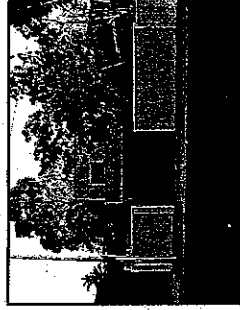


Residence No 71



Residence No 69

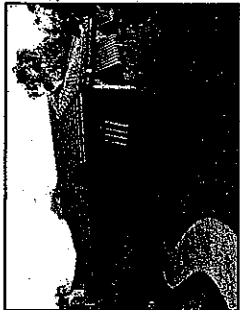
Tramway Parade Photo Montage



Residence No 22



Residence No 71 * Lot 2 *

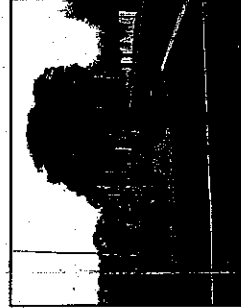


Residence No 71 * Lot 1 *

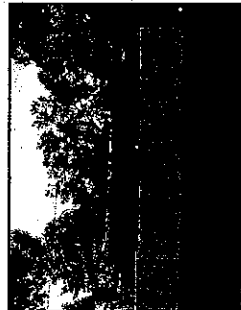


Residence No 71

Comb Avenue Photo Montage



Tennis court on the corner of Cramb Avenue & Tramway Parade opposite proposed development site.



Residence No 22



Residence No 22

Comb Avenue Photo Montage

Planning Committee Meeting

17 May 2011

Item 4.8

**77 Bonanza Road, Beaumaris
(Application No. 2010/0550/1 – Ward: Southern)**

Pages: 13

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07 MAR 2011
BAYSIDE
PLANNING DEPT.

Re-Advertised

09 MAR 2011

PROJECT:

NEW DWELLING

AT:

77 BONANZA ROAD, BEAUMARIS

FOR:

P. & N. HABIB

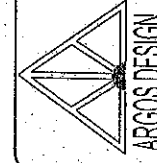
REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIATION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

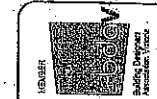
DRAWING
COVER SHEET
CLIENT
P. & N. HABIB

DESIGN		DRAWN		DATE	
KC	TW				2.9.10
SCALE		SHEET No.		REF No.	
A5 SHOWN		12 SHEETS		3183TP-C	

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legend:

- existing tree
- vehicle access
- setbacks
- habitable room window
- private open space

SITE ANALYSIS NOTES

A SUBJECT SITE - NO. 77 BONANZA ROAD, BEAUMARIS

THE SUBJECT SITE IS LOCATED WITHIN A RESIDENTIAL STREETSCAPE THAT CONSISTS OF MAINLY BRICK VENEER HOMES WITH ROOF TILES BUILT BETWEEN 1960 & 1980 AND CONTEMPORARY STYLE HOMES BUILT IN THE LAST 20 YEARS. THE TYPICAL LOT SIZE IS APPROXIMATELY 400M² TO 600M², RECTANGULAR IN SHAPE WITH FRONTAGES VARYING AROUND 12M. ALL DWELLINGS ARE VISIBLE FROM THE STREET.

THE SUBJECT SITE IS RELATIVELY FLAT, WITH A GENTLE SLOPE FROM FRONT TO REAR. THERE IS MINIMAL VARIATION BETWEEN THE SUBJECT SITE AND ADJOINING PROPERTIES.

STREET TRAFFIC TO BONANZA ROAD IS PREDOMINATELY LOCAL TRAFFIC AS IT IS NESTLED AMONGST OTHER SMALL RESIDENTIAL STREETS. THE ROAD IS 7M WIDE APPROX WITH PARALLEL PARKING, SINGLE AND DOUBLE CROSSOVERS, TREE LINED NATURE STRIPS STREET PLANTING AND AN OPEN STREETSCAPE CHARACTER. VEGETATION IS VISIBLE TO BOTH FRONT AND REAR YARDS. PARKING IS BOTH ON AND OFF STREET WITH A NUMBER OF CARPOISITS AND GARAGES VISIBLE FROM THE STREET.

THE LOCATION OF THE SITE IS ACCESSIBLE TO MANY SERVICES AND FACILITIES SUCH AS NEARBY STRIP SHOPS. THERE ARE A NUMBER OF PRE-SCHOOLS, PRIMARY SCHOOLS AND SECONDARY SCHOOLS IN THE AREA, WHICH ARE EASILY ACCESSIBLE BY PUBLIC TRANSPORT.

site analysis plan

SCALE - 1:400

NOTE:
SITE LEVELS ARE TO AUSTRALIAN HEIGHT DATUM A.H.D.
REFER SURVEY PLAN

COLD WINTER WINDS AND PREVAILING WINDS

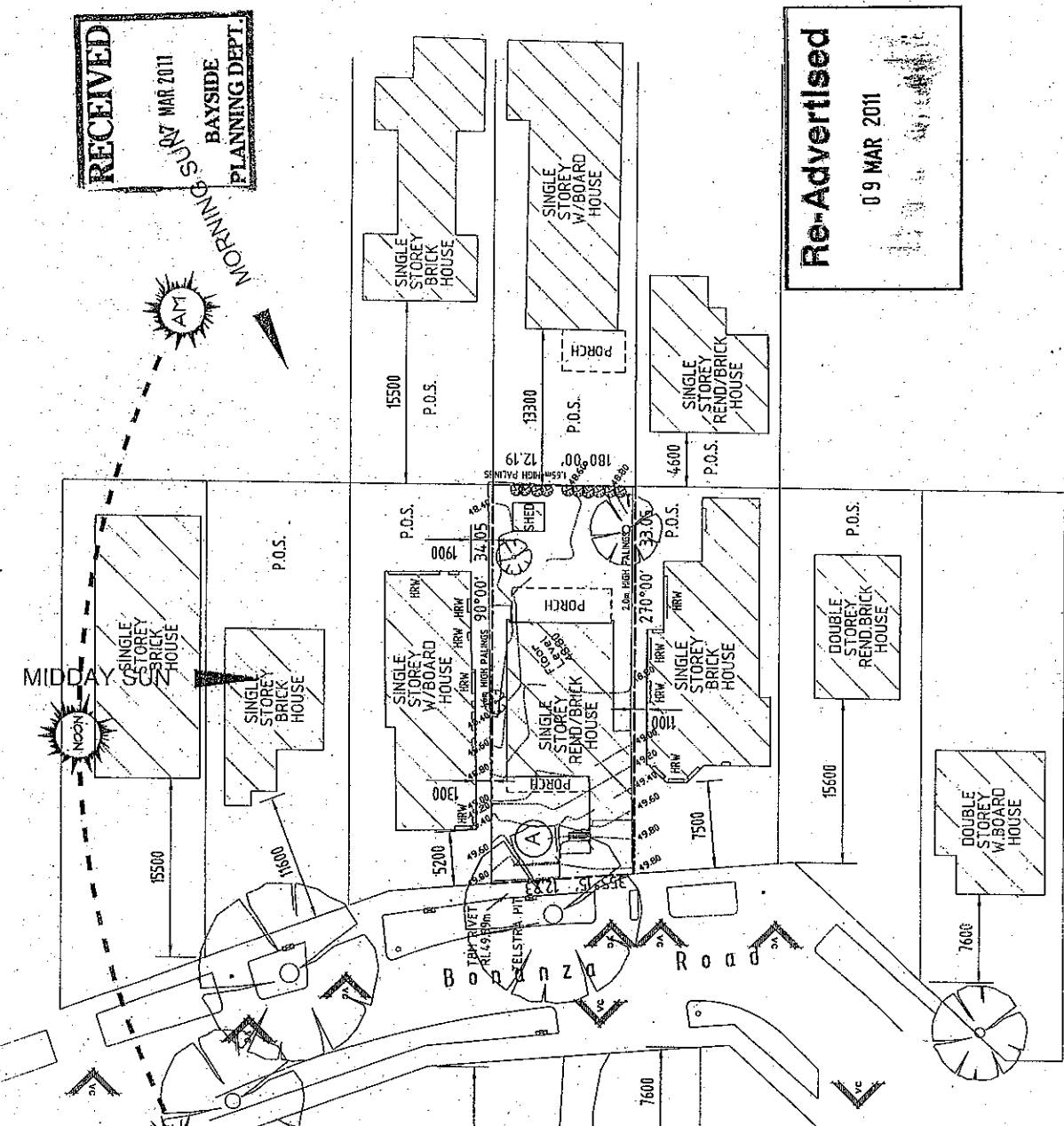
HOT SUMMER WINDS

AFTERNOON SUN

NOON SUN

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MORNING SUN 07 MAR 2011
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Re-Advised
09 MAR 2011



REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIA TION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

PROJECT
**NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS**

BRAWING
SITE ANALYSIS
CLIENT
P. & N. HABIB

DESIGN	DRAWN	DATE
KC	TW	2.9.10
SCALE	SHEET No.	REF No.
A.S SHOWN	-01 (OE 12)	3183TP-C

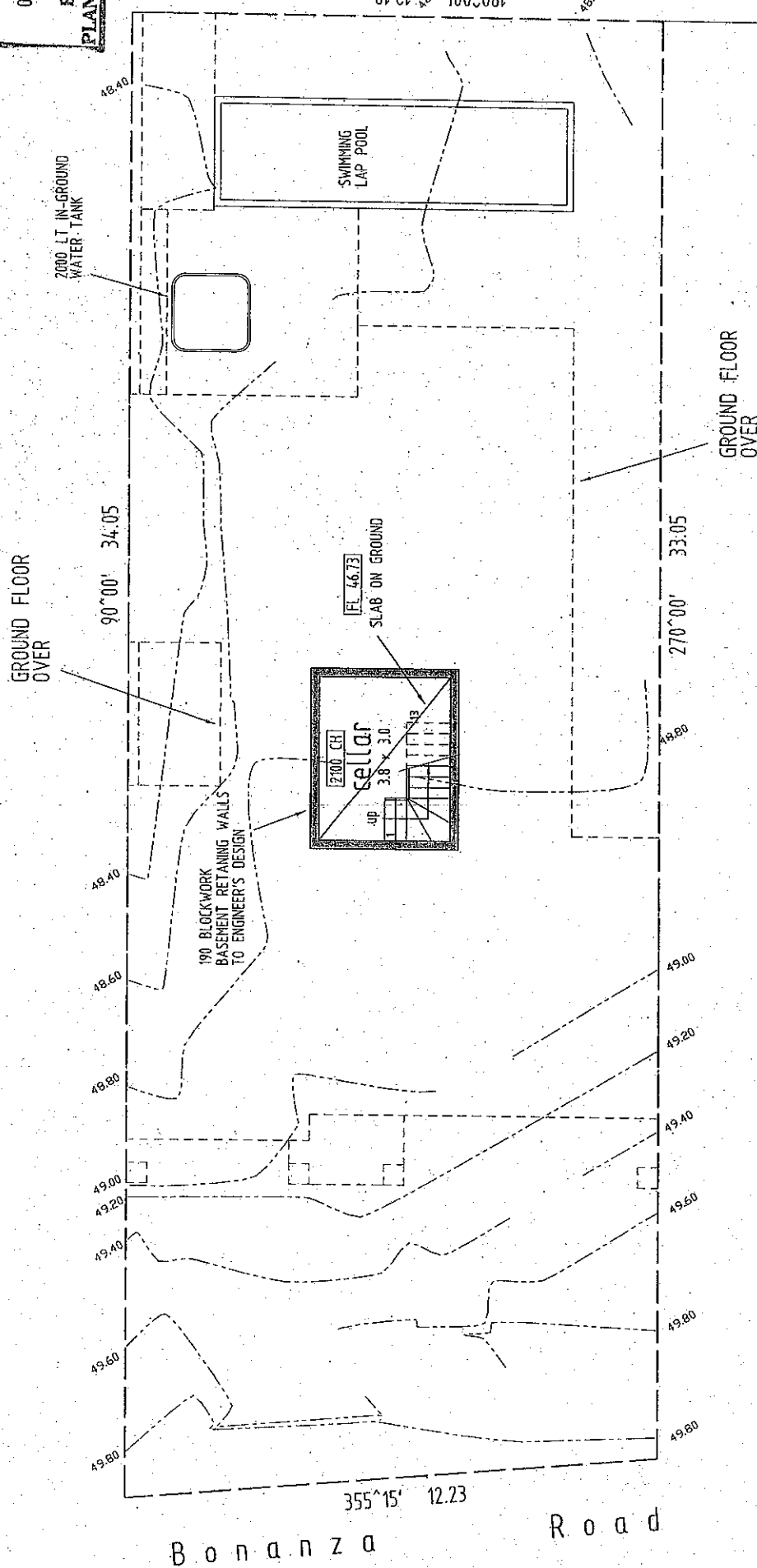
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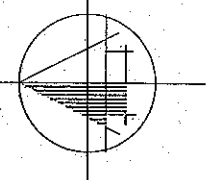
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09 MAR 2011



basement plan

SCALE - 1:100

NOTE:
SITE LEVELS ARE TO AUSTRALIAN HEIGHT DATUM A.H.D.
REFER SURVEY PLAN



REV	AMENDMENT	DATE
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B	MEDIATION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

DRAWING
BASEMENT PLAN
CLIENT
P & N. HABIB

DESIGN	DRAWN	DATE
KC	TW	2.9.10
SCALE	SHEET No.	REF. No.
AS SHOWN	04 (OF 12)	3183TP-C

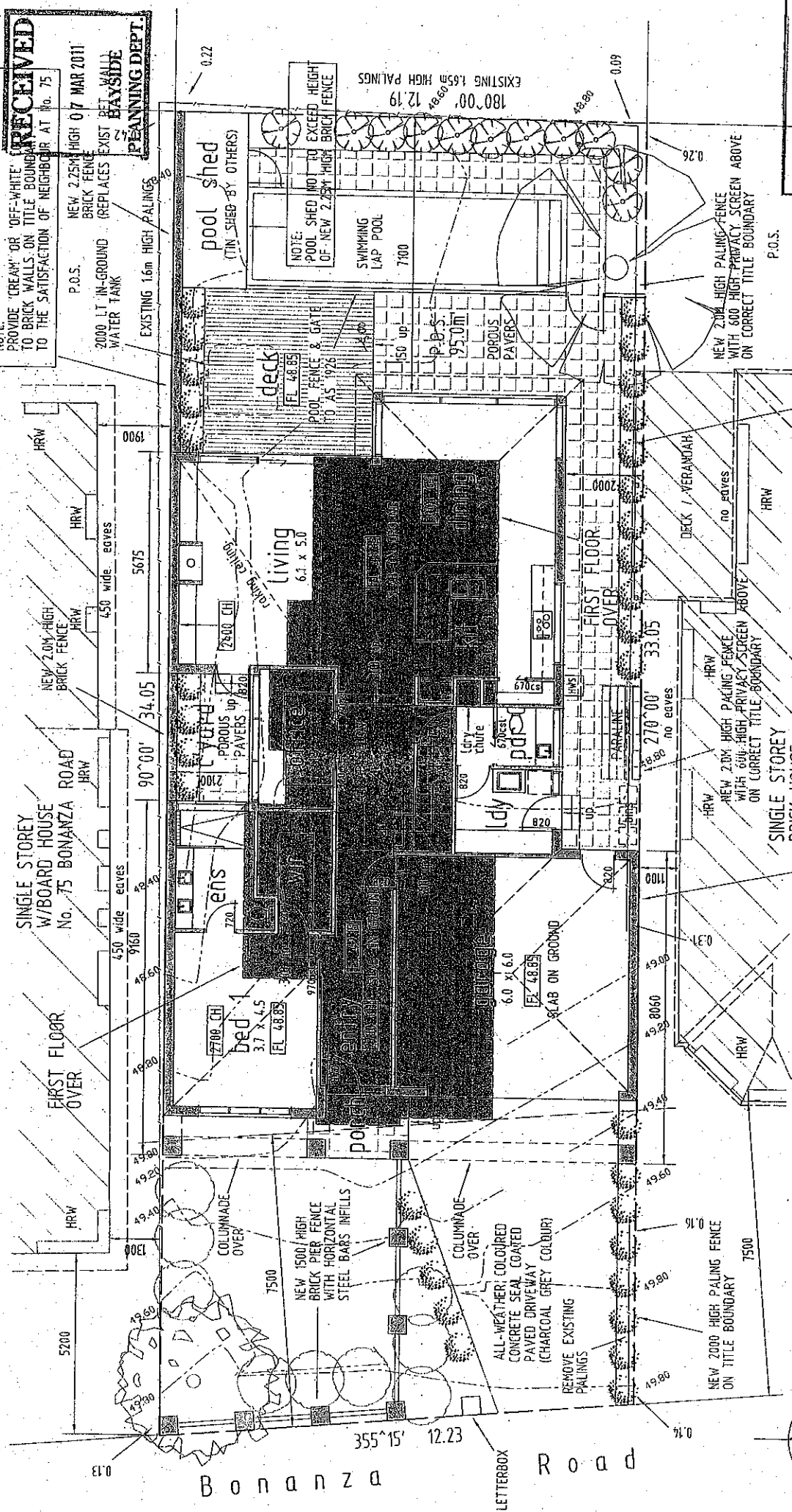
ARGOS DESIGN

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188ER

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ground floor plan

SCALE - 1:100
 NOTE: SITE LEVELS ARE TO AUSTRALIAN HEIGHT DATUM A.H.D.
 REFER SURVEY PLAN

SINGLE STOREY BRICK HOUSE
 No. 79 BONANZA ROAD

NOTE: PROVIDE 'CREAM' OR 'OFF-WHITE' COLOUR TO BRICK WALLS ON TITLE BOUNDARY TO THE SATISFACTION OF NEIGHBOUR AT No. 79

NOTE: RETAIN EXISTING 2.0M HIGH PALING FENCE WHERE NEIGHBOUR'S DECK / VERANDAH ONLY WITH NEW 600 HIGH PRIVACY SCREEN ABOVE

Re-Advertised
 09 MAR 2011

NOTE: PROVIDE 'CREAM' OR 'OFF-WHITE' TO BRICK WALLS ON TITLE BOUNDARY TO THE SATISFACTION OF NEIGHBOUR AT No. 75
 P.O.S. NEW 2.25M HIGH BRICK FENCE (REPLACES EXISTING BRICK WALL) BAYSIDE PLANNING DEPT.
 2000 LT IN-GROUND WATER TANK
 EXISTING 1.6m HIGH PALINGS

NOTE: POOL SHED NOT TO EXCEED HEIGHT OF NEW 2.25M HIGH BRICK FENCE
 SWIMMING LAP POOL 7.00

NOTE: NEW 2.0M HIGH PALING FENCE WITH 600 HIGH PRIVACY SCREEN ABOVE ON CORRECT TITLE BOUNDARY
 P.O.S.

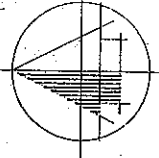
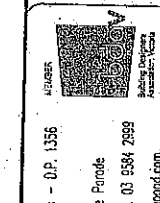
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PROJECT
NEW DWELLING
 77 BONANZA ROAD,
 BEAUMARIS

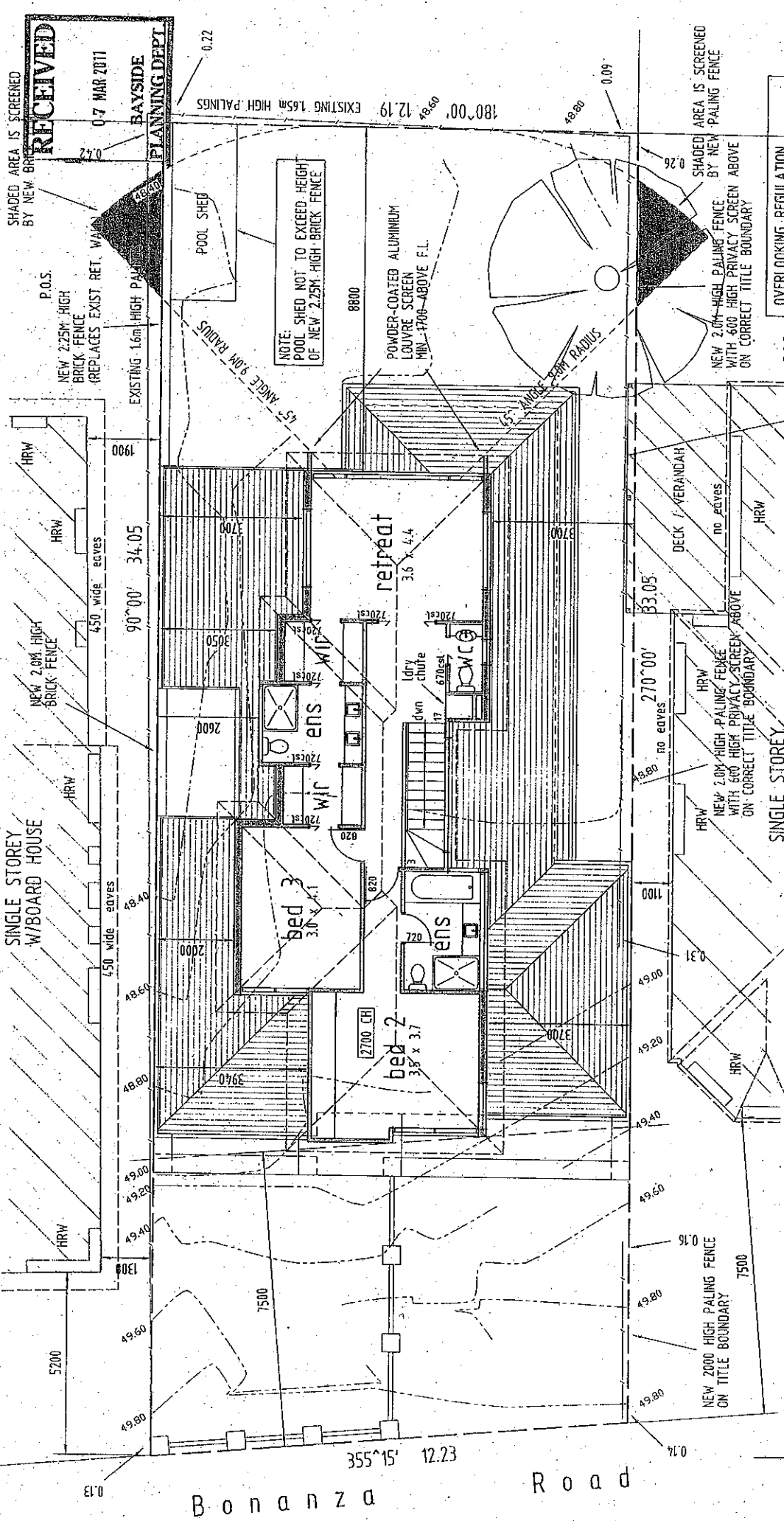
DRAWING
GROUND FLOOR PLAN
 CLIENT
P. & N. HABIB

DESIGN	DRAWN	DATE
KC	TW	2.9.10
SCALE	SHEET No.	REF. No.
A5 SHOWN	05 (OF 12)	3163TP-C

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first floor plan

SCALE - 1:100

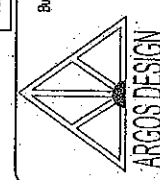
NOTE: SITE LEVELS ARE TO AUSTRALIAN HEIGHT DATUM A.H.D. REFER SURVEY PLAN

REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIATION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

PROJECT
NEW DWELLING
 77 BONANZA ROAD,
 BEAUMARIS

DRAWING
FIRST FLOOR PLAN
 CLIENT
P. & N. HABIB

DESIGN	SCALE	AS SHOWN	DATE	REF. NO.
KC	1:100	06 (OF 12)	06	3183TP-C



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OVERLOOKING REGULATION
 PROPOSED NEW WINDOWS, BALCONIES, DECKS 600 OR MORE ABOVE NATURAL GROUND LEVEL NOT TO OVERLOOK NEIGHBOUR'S EXISTING PRIVATE OPEN SPACE & HABITABLE ROOM WINDOWS WITHIN A 90° RADIUS. VIEWS ARE MEASURED WITHIN A 45° ANGLE FROM THE PLANE OF THE WINDOW OR PERIMETER OF THE DECK OR BALCONY, 1.7M ABOVE FLOOR LEVEL. PROVIDE PRIVACY SCREENING OR OBSCURE GLAZING WHERE REQUIRED IF NOT COMPLYING.

NOTE:
 RETAIN EXISTING 2.0M HIGH PALING FENCE WHERE NEIGHBOUR'S DECK / VERANDAH ONLY WITH NEW 600 HIGH PRIVACY SCREEN ABOVE

SHADED AREA IS SCREENED BY NEW PALING FENCE WITH 600 HIGH PRIVACY SCREEN ABOVE ON CORRECT TITLE BOUNDARY

NOTE:
 POOL SHED NOT TO EXCEED HEIGHT OF NEW 2.25M HIGH BRICK FENCE

POWDER-COATED ALUMINIUM LOUVER SCREEN MIN. 1700-ABOVE F.L.

SHADED AREA IS SCREENED BY NEW BRICK FENCE
 P.O.S.
 NEW 2.25M HIGH BRICK FENCE (REPLACES EXIST. RET. WALL)
 EXISTING 1.6M HIGH PALING FENCE

NEW 2.0M HIGH BRICK FENCE








NEW 2.0M HIGH PALING FENCE WITH 600 HIGH PRIVACY SCREEN ABOVE ON CORRECT TITLE BOUNDARY

SINGLE STOREY BRICK HOUSE

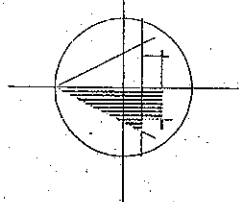
SINGLE STOREY W/BOARD HOUSE

Bonanza Road

Legend:

-  existing tree
-  vehicle access
-  setbacks
-  habitable room
-  window
-  private open space
-  P.O.S.

AREAS:		
GROUND FLOOR:	145.9 m ²	(15.7 sq)
FIRST FLOOR:	89.3 m ²	(9.6 sq)
TOTAL:	235.2 m ²	(25.3 sq)
GARAGE:	39.3 m ²	
PRIVATE OPEN SPACE:	91.0 m ²	
SITE:	409 m ²	
SITE COVERAGE:	196.5 m ²	(48.0%)
SITE PERMEABILITY:	177.1 m ²	(43.3%)

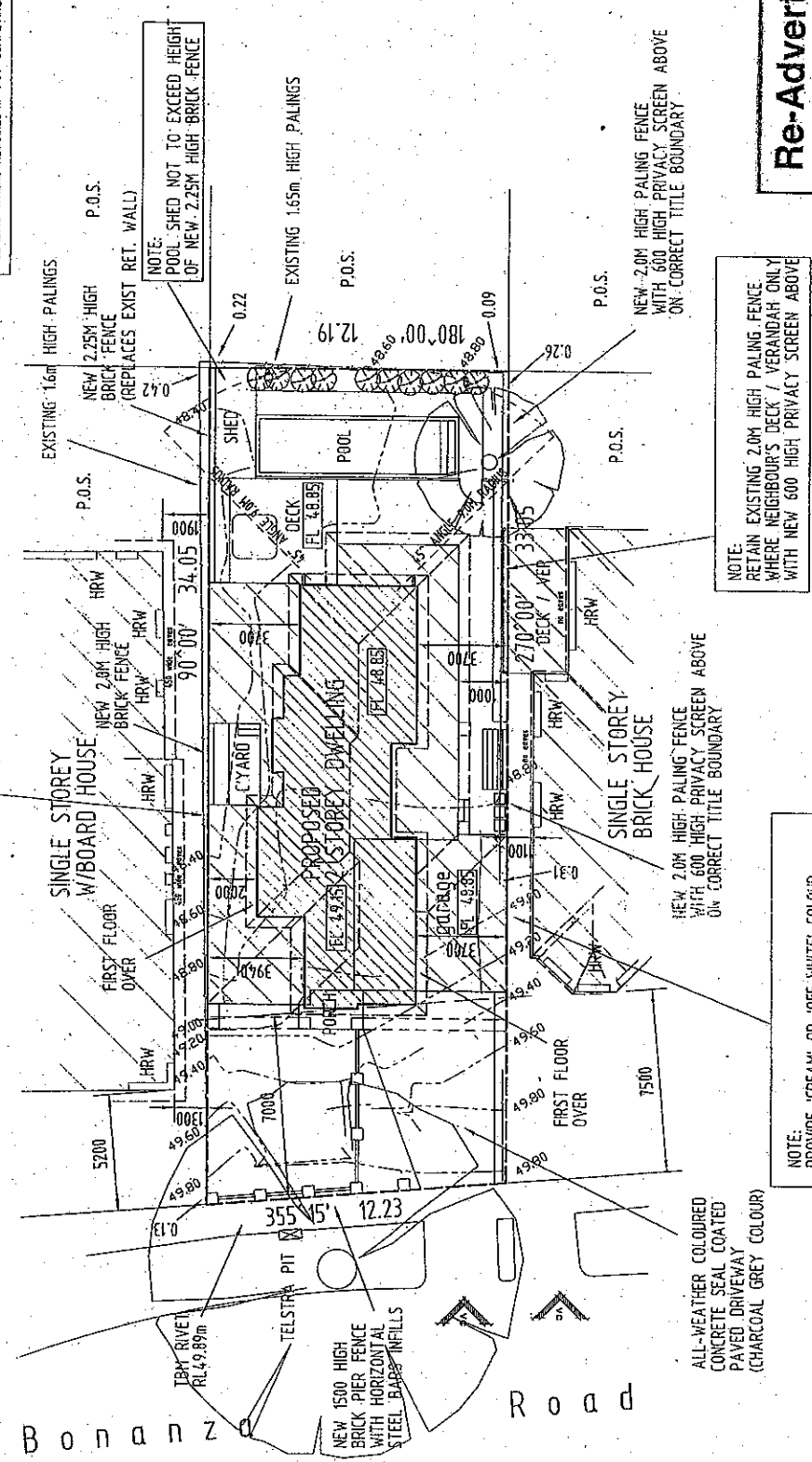


site plan

SCALE - 1:200

NOTE:
SITE LEVELS ARE TO AUSTRALIAN HEIGHT DATUM A.H.D.
REFER SURVEY PLAN

NOTE:
PROVIDE 'CREAM' OR 'OFF-WHITE' COLOUR TO BRICK WALLS ON TITLE BOUNDARY TO THE SATISFACTION OF NEIGHBOUR AT No. 75



NOTE:
RETAIN EXISTING 2.0M HIGH PALING FENCE WHERE NEIGHBOUR'S DECK / VERANDAH ONLY WITH NEW 600 HIGH PRIVACY SCREEN ABOVE

NOTE:
PROVIDE 'CREAM' OR 'OFF-WHITE' COLOUR TO BRICK WALLS ON TITLE BOUNDARY TO THE SATISFACTION OF NEIGHBOUR AT No. 79.

ALL-WEATHER COLOURED CONCRETE SEAL COATED PAVED DRIVEWAY (CHARCOAL GREY COLOUR)

NOTE:
POOL SHED NOT TO EXCEED HEIGHT OF NEW 2.25M HIGH BRICK FENCE

RECEIVED
OVERLOOKING REQUIREMENTS
PROPOSED NEW WINDOW ABOVE NATURAL GROUND LEVEL 600 OR MORE ABOVE NEIGHBOUR'S EXISTING PRIVATE OPEN SPACE OR HABITABLE ROOM WINDOWS WITHIN 4.5M RADIUS MAR 2011 VIEWS ARE MEASURED WITHIN A 45° ANGLE FROM THE PLANE OF THE WINDOW OR PERIMETER OF THE DECK OR BALCONY, LEANING SIDE FLOOR LEVEL.
PROVIDE PRIVACY SCREENS TO NEIGHBOUR'S FLOOR LEVEL.
GLAZING WHERE REQUIRED IF NOT COMPLYING.
PLANNING DEPT.

Re-Advised
09 MAR 2011

REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
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PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

DRAWING
SITE PLAN
CLIENT
P. & N. HABIB

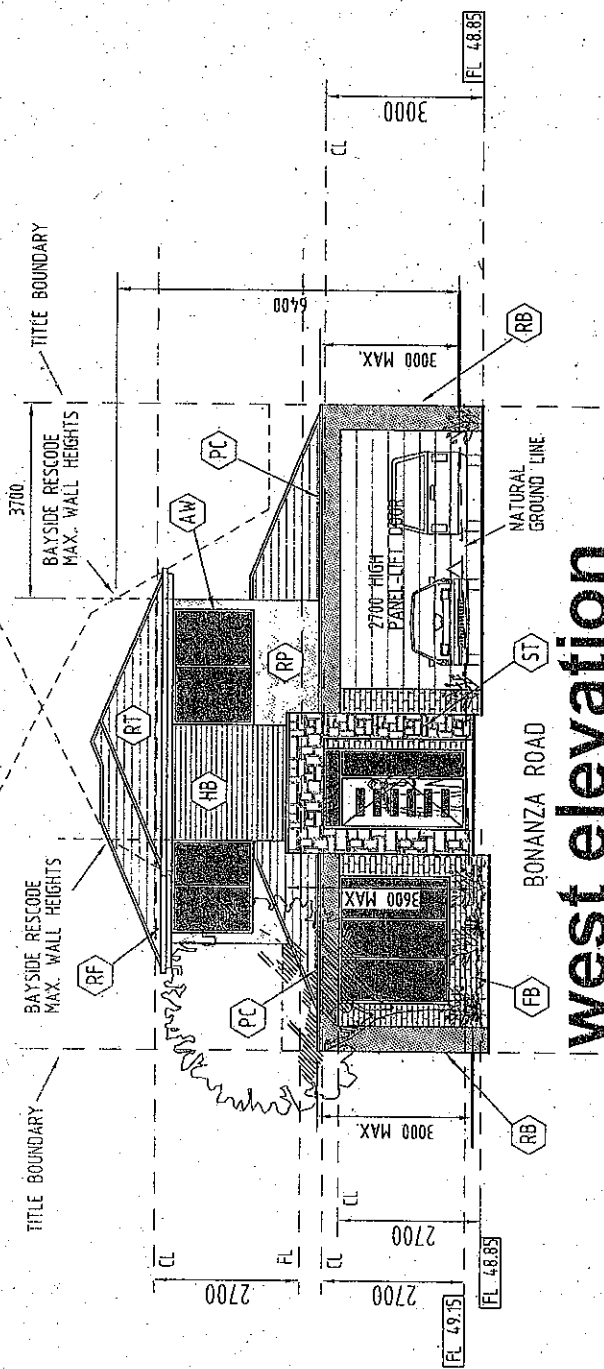
DESIGN	DRAWN	DATE
KC	TJW	2.9.10
SCALE	SHEET No.	REF No.
A5 SHOWN	03 (OF 12)	3083TP-C

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external finishes

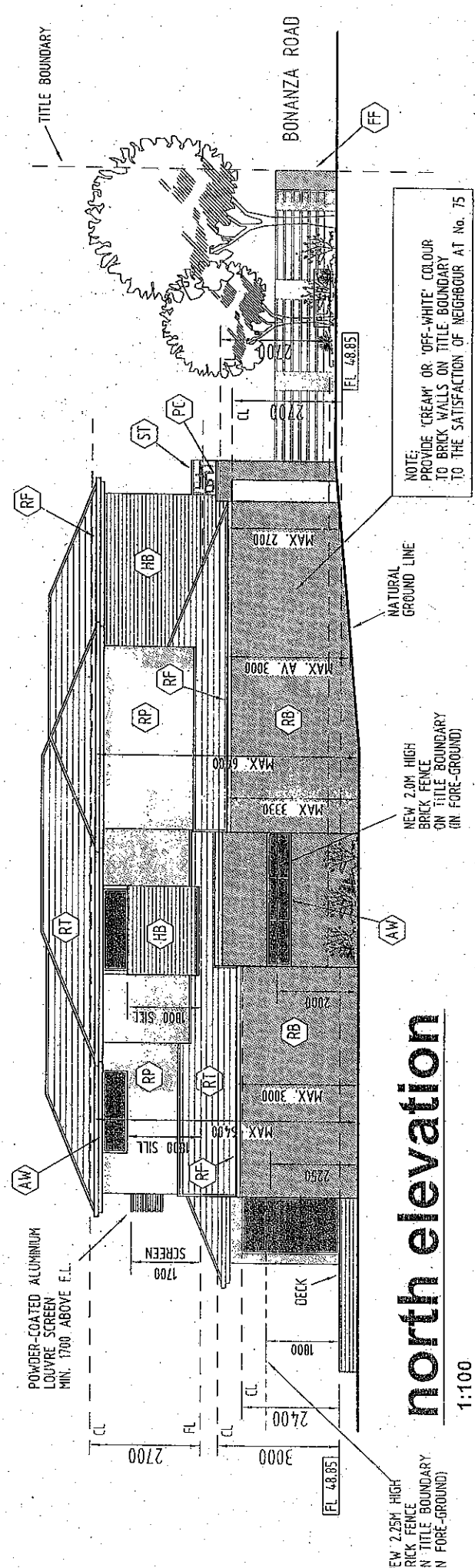
- RB** RENDERED BRICK (SELECTED TEXTURE)
- FB** FACE BRICKWORK
- RP** RENDERED POLYSTYRENE (SELECTED TEXTURE)
- HB** SELECTED STAINLESS STEEL FINISHING DEPT. HORIZONTAL LAMINATION
- RT** ROOF TILES
- ST** SELECTED STONE FINISH
- PC** COLORBOND PARAPET CAPPING OVER RENDERED CEMENT SHEET
- RF** COLORBOND FASCIA & GUTTER, DOWNPIPES & FASCIA
- AW** SELECTED ALUMINIUM FRAMED POWDER-COATED WINDOWS
- FF** 1500 HGR BRICK PIER FENCE WITH HORIZ STEEL BARS INFILLS

RECEIVED
 07 MAR 2011
 BAYSIDE



west elevation

1:100



north elevation

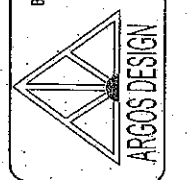
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PROJECT
NEW DWELLING
 77 BONANZA ROAD,
 BEAUMARIS

DRAWING
ELEVATIONS
 CLIENT
P. & N. HABIB

DESIGN	DRAWN	DATE
KC	TW	2.9.10
SCALE	SHEET NO.	REF. NO.
A5 SHOWN	07 (OF 12)	3183TP-C

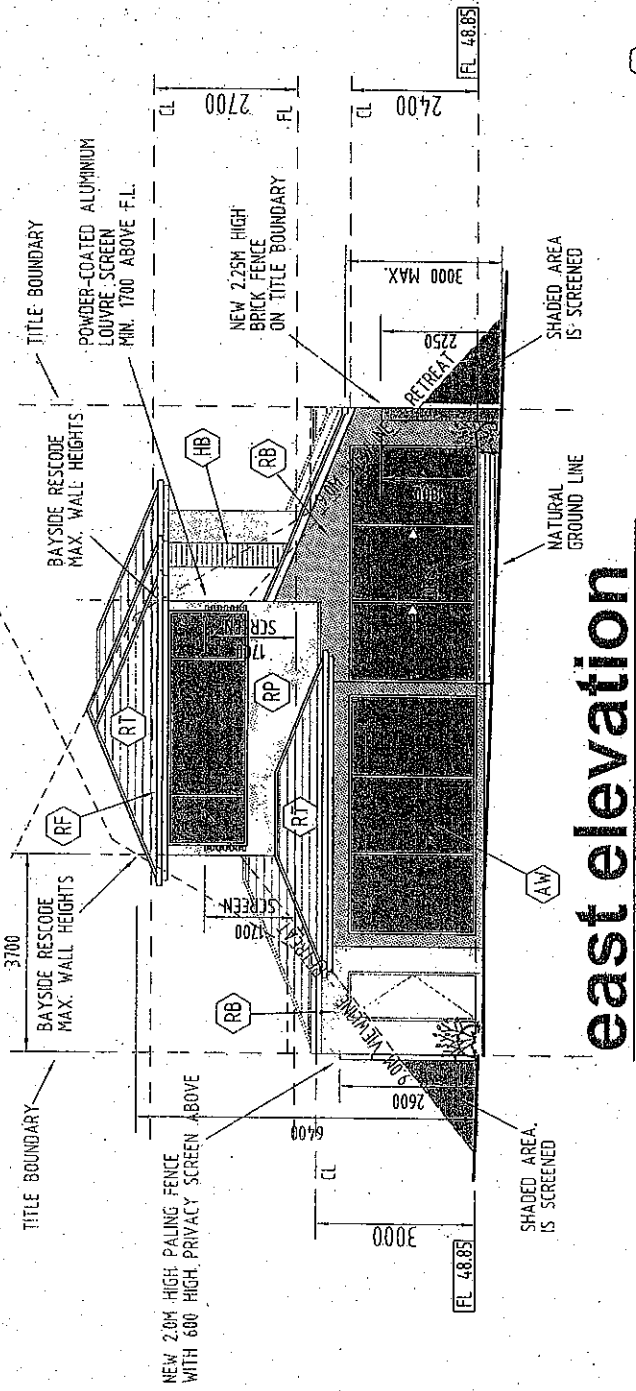


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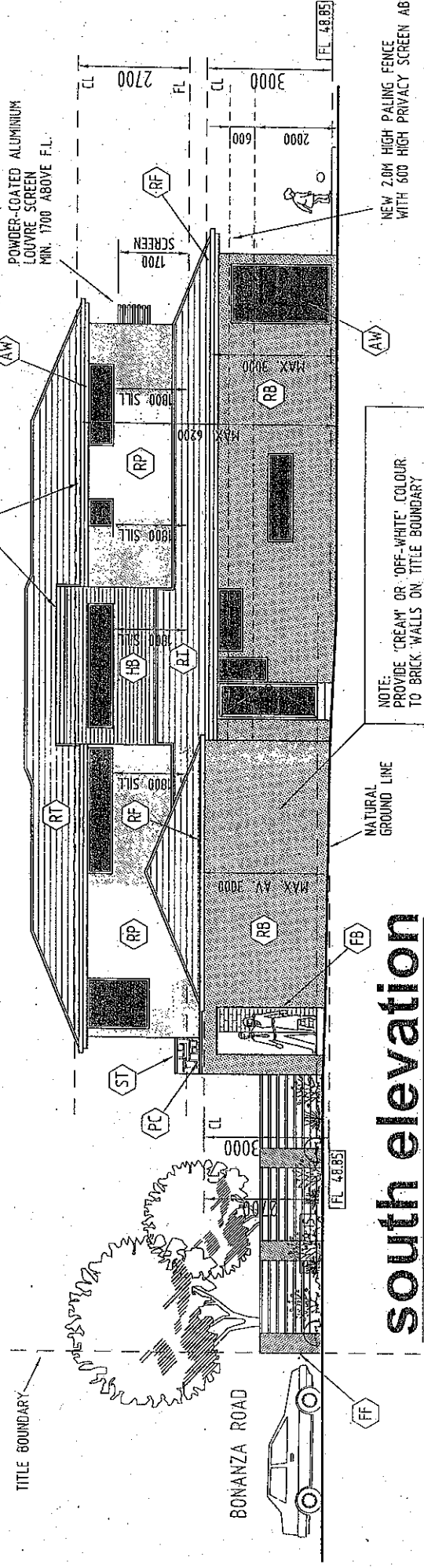
- external finishes**
- RB** RENDERED BRICKWORK (SELECTED TEXTURES)
 - FB** FACE BRICKWORK
 - RP** RENDERED POLYSTYRENE (SELECTED TEXTURES)
 - HB** SELECTED STAMPER FINISHING DEPT. HORIZONTAL LINDA
 - RT** ROOF TILES
 - ST** SELECTED STONE FINISH
 - PC** COCARBON PARAPET CAPPING OVER RENDERED LEUMENT SHEET
 - RF** COLORBOND FASCIA & GUTTER, DOWNPIPES & FASCIA
 - AW** SELECTED ALUMINIUM FRAMED POWDER-COATED WINDOWS
 - FF** 1500 HIGH BRICK PIER FENCE WITH HORIZ. STEEL BARS INFILLS

RECEIVED
07 MAR 2011
BAYSIDE



east elevation

1:100



south elevation

1:100

NOTE: PROVIDE 'CREAM' OR 'OFF-WHITE' COLOUR TO BRICK WALLS ON TITLE BOUNDARY TO THE SATISFACTION OF NEIGHBOUR AT No. 79

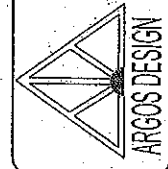
REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIATION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

DRAWING
ELEVATIONS
CLIENT
P. & N. HABIB

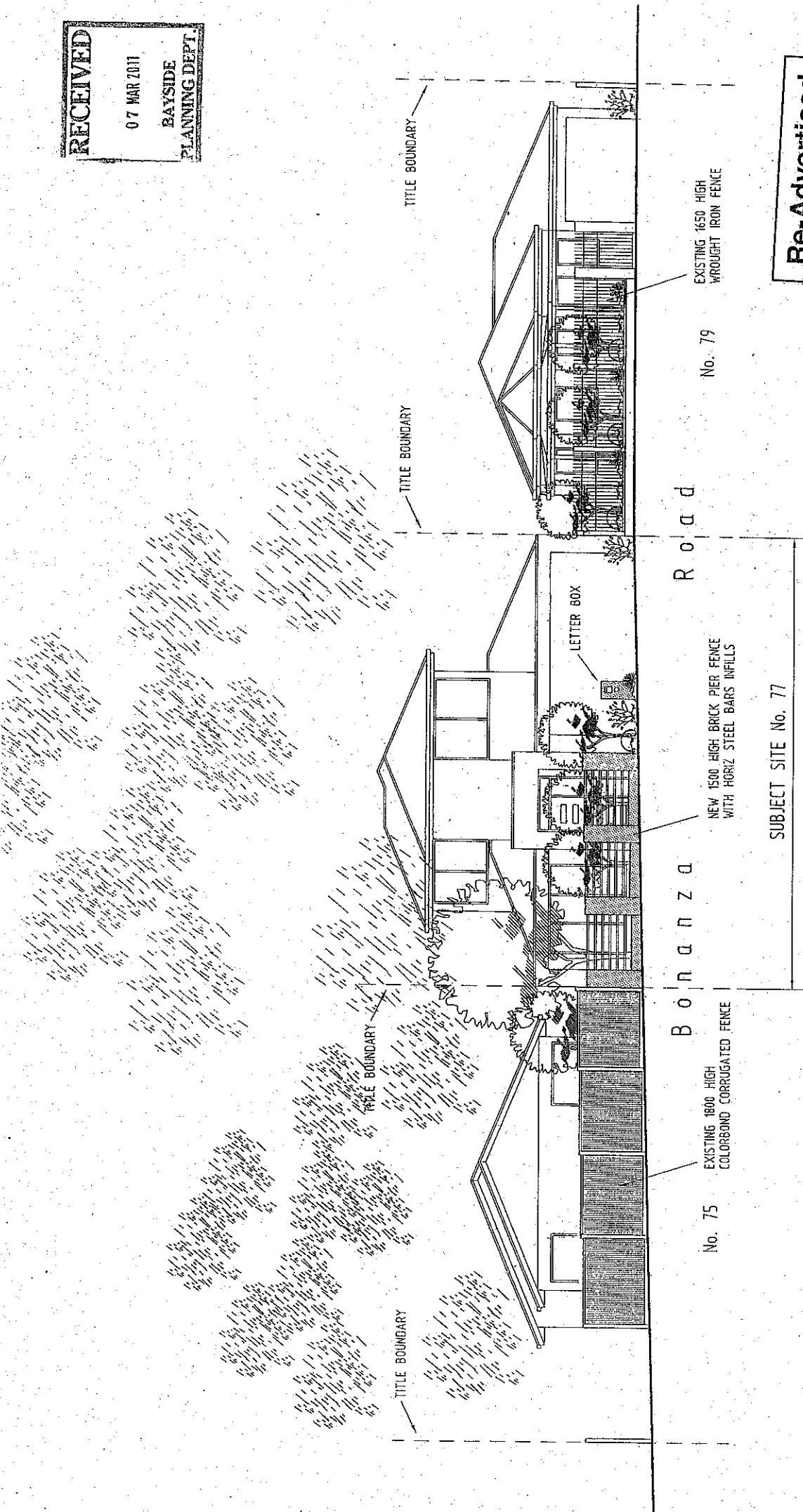
DESIGN	DRAWN	DATE
KC	TW	2.9.10

SCALE	SHEET No.	REF No.
AS SHOWN	08 (OF 12)	3183TP-C



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DESIGN	DRAWN	DATE
KC	TW	2.9.10
SCALE	SHEET No.	REF No.
AS SHOWN	09 (OF 12)	31831P-C

DRAWING
FRONT STREETSCAPE
 CLIENT
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PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIATION-AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

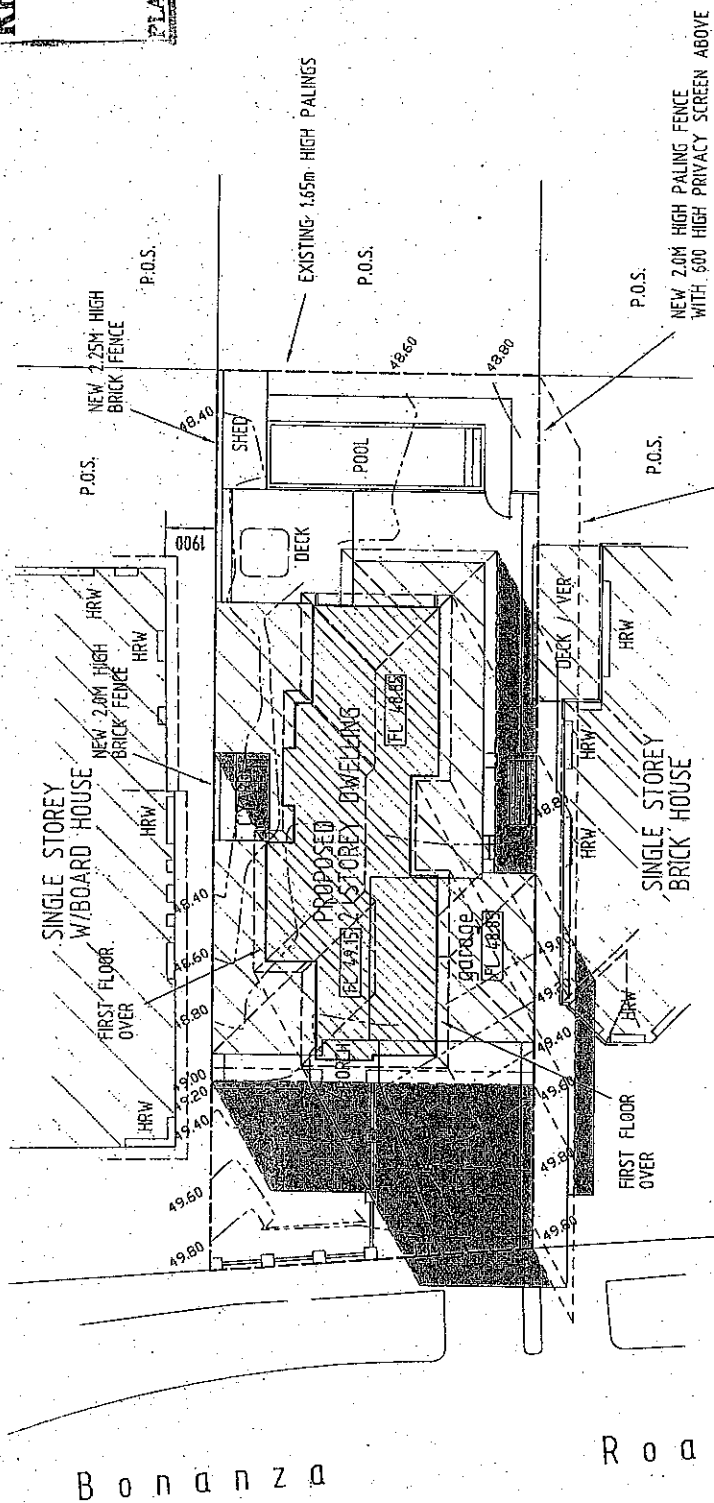
B o n a n z a
R o a d
 No. 75
 No. 79
 SUBJECT SITE No. 77

front streetscape elevation

1:100

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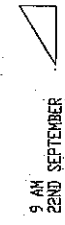
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NEW 2.0M HIGH PALING FENCE WITH 600 HIGH PRIVACY SCREEN ABOVE

SHADOW CAST BY EXISTING 2.0M HIGH PALING FENCE

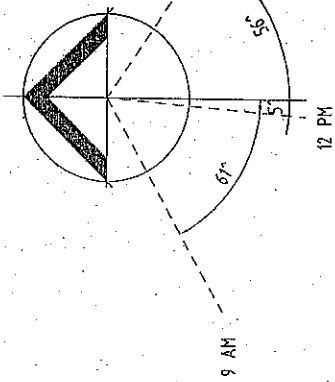
SEPTEMBER 22 (Equinox)



LENGTH OF SHADOW CAST ON THE 22 SEPTEMBER		
TIME	SHADOW LENGTH OF A 1 m HIGH POST	SUN ALTITUDE
9 AM	1.60 m	32 DEG
12 PM	0.78 m	52 DEG
3 PM	1.37 m	35 DEG

ANGLE OF SHADOW ON THE 22 SEPTEMBER

Bonanza Road



shadow diagram 9.00am
1:200

REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIATION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

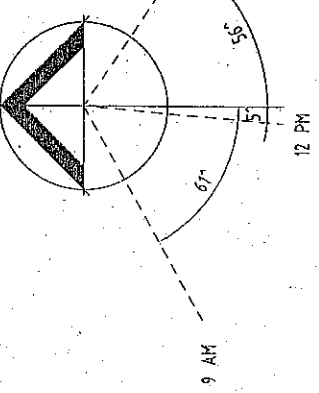
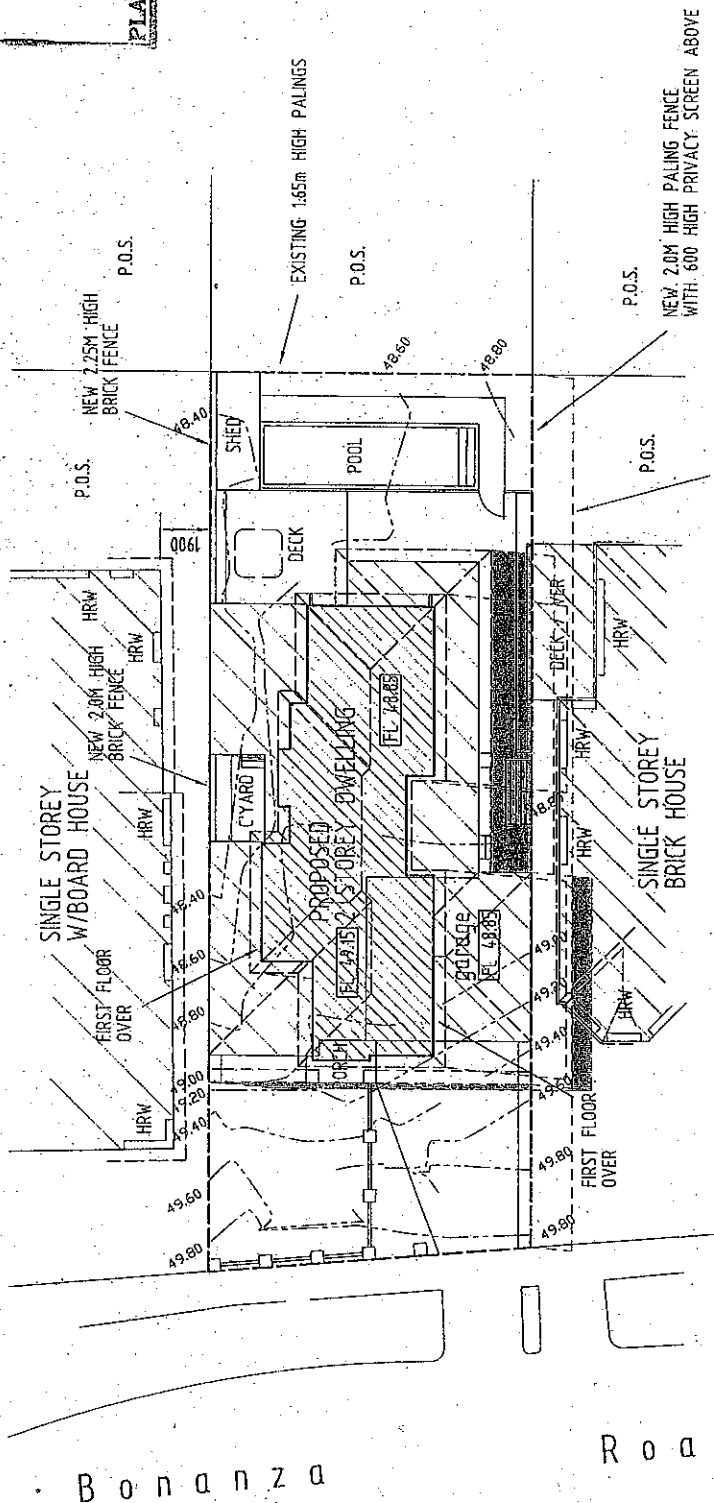
DRAWING
SHADOW DIAGRAMS - 9.00AM
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DESIGN	DRAWN	DATE
KC	TW	2.9.10

SCALE	SHEET No.	REF No.
AS SHOWN	10 OF 12	3183TP-C

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ANGLE OF SHADOW ON THE 22 SEPTEMBER

TIME	SHADOW LENGTH OF A 1 m HIGH POST	SUN ALTITUDE
9 AM	1.60 m	32 DEG
12 PM	0.78 m	52 DEG
3 PM	1.37 m	36 DEG

12 PM 22ND SEPTEMBER



SEPTEMBER 22 (Equinox)

shadow diagram 12.00noon

1:200

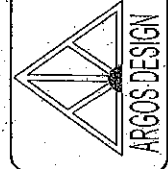
Re-Advised
09 MAR 2011

REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIATION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11

PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

DRAWING
SHADOW DIAGRAMS - 12NOON
CLIENT
P. & N. HABIB

DESIGN	DRAWN	DATE
KC	TW	2.9.10
SCALE	SHEET NO.	REF. NO.
A5 SHOWN	11 (OF 12)	3183TP-C



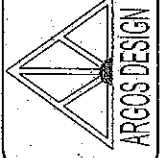
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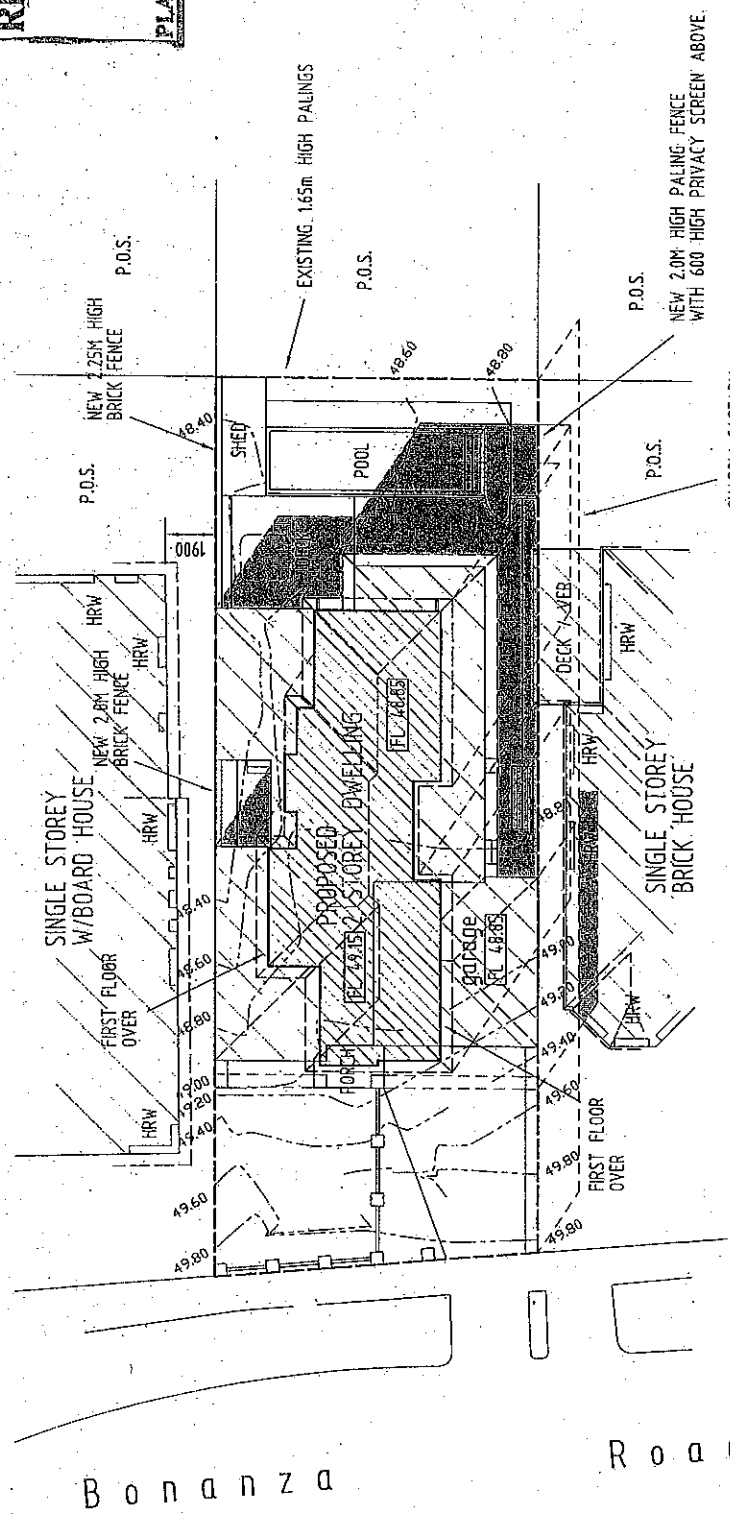
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DESIGN	KC	DRAWN	TW	DATE	2-9-10
SCALE	AS SHOWN	SHEET No.	12 (OF 12)	REF No.	3183TP-C

DRAWING
SHADOW DIAGRAMS - 3.00PM
CLIENT
P. & N. HABIB

PROJECT
NEW DWELLING
77 BONANZA ROAD,
BEAUMARIS

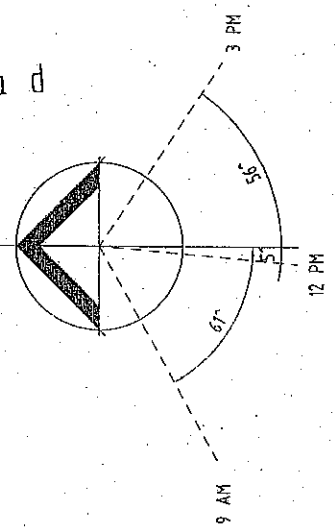
REV	AMENDMENT	DATE
A	FURTHER INFO - PLANNING	4.10.10
B	MEDIATION AMENDMENTS	8.2.11
C	OBJECTORS' AMENDMENTS	14.2.11



ANGLE OF SHADOW ON THE 22 SEPTEMBER



LENGTH OF SHADOW CAST ON THE 22 SEPTEMBER		SUN ALTITUDE	
TIME	SHADOW LENGTH OF A 1 m HIGH POST	32 DEG	36 DEG
9 AM	1.60 m	52 DEG	36 DEG
12 PM	0.78 m		
3 PM	1.37 m		



shadow diagram 3.00pm

1:200