

bayside small neighbourhood activity centres

urban design assessment & guidelines



bayside small neighbourhood activity centres

urban design assessment & guidelines



contents

1. introduction	2
1.1 activity centre context	3
1.2 anticipated growth in bayside	3
2. project methodology	5
2.1 activity centre status, typology & setting	5
2.2 the potential for change	6
3. determining an appropriate built form	8
3.1 precinct opportunities and constraints	8
3.2 key urban design criteria	9
4. design response	10
<i>SNACs in hinterland or coastal settings</i>	10
<i>SNACs on main roads and junctions</i>	10
<i>NACs & SNACs in public transport and main road settings</i>	10

1. introduction

The Bayside Planning Scheme currently outlines a series of built form controls that seek to reinforce the low rise character of Bayside, with specific guidance applied in the City's coastal and inland residential areas, its Major Activity Centres (MACs), where work is currently underway to implement the findings of structure plans into the Bayside Planning Scheme, and the large Neighbourhood Activity Centres.

With no available 'greenfield' precincts, the key opportunities for growth and consolidation occur within Bayside's Activity Centres and selected Strategic Redevelopment Sites (SRS's).

While considerable strategic work has focussed on Bayside's Major Activity Centres, it is in fact the more numerous (and varied) Large Neighbourhood Activity Centres (LNACs) and Small Neighbourhood Activity Centres (SNACs) which are presently experiencing considerable development pressure. These Centres are important, as they provide for a broad range of local services and facilities but are typically contained in physical extent and scale. They are places that are often highly valued by the community and must be carefully planned.

While all of the Large Neighbourhood Activity Centres have structure plans (bar Martin Street, Brighton, where work is currently underway), there is presently no specific provisions or controls that demonstrate how smaller centres should accommodate or guide change.

1.1 activity centre context

The strategic context of Bayside's Activity Centre network is important in determining an appropriate future urban form for SNACs within the City. An accepted approach to the designation of precincts for development consolidation is that higher order Centres accommodate the greatest degree of change with more modest change in lower order Centres such as SNACs. The potential for Strategic Redevelopment Sites (SRS's) is an additional consideration as they may offer new opportunities for establishing Activity nodes.

In terms of State Planning Policy Framework (SPPF) context, Bayside's MACs are seen as the principal focus to accommodate change, whereas SNACs need to be considered in their context.

Bay Street, Brighton; Church Street, Brighton; Sandringham Village; and Hampton Street, Hampton are each recognised as Major Activity Centres. In each of these MACs, the intended built form scale varies between 3-5 storeys with the prospect of increased capacity on major amalgamated or strategic sites. Importantly, Structure Plans for the areas seek to address land use issues and direct the nature of development to the street frontage with transitions to adjoining residential areas.

This Urban Design Statement provides guidance for the 20 identified SNACs and 4 SRS's that sit under these larger centres. These centres comprise localised shopping strips or clusters of commercial uses, some of which are positioned on major roads and others in local residential streets.

The scale of these Centres is typically low, consisting of 1 and 2 storeys attached shops and offices. These areas are typically covered by the existing Coastal or Inland Areas Design and Development Overlays (DDOs) which have mandatory or discretionary building height parameters at 2 storeys respectively. These provisions apply consistently to both business land within SNACs and the surrounding residential context, without specific distinction in the built form outcomes to be achieved. In addition to defined Centres, Bayside also includes a series of SRS's which have the capacity to realise consolidation outside of the formal structure of a declared Activity node. These include major amalgamated land parcels and/ or 'out of Centre' locations. They are also affected by Bayside's Coastal or Hinterland DDOs and as such have existing limits in place with respect to their potential growth and capacity.

1.2 anticipated growth in bayside

Council has adopted the Bayside Housing Strategy (2012) which is a document that set out how residential development in Bayside will be planned and managed over the next 20 years. The strategy identifies the location and type of residential development required in order to meet the changing needs of the Bayside community, while ensuring development is consistent with and enhances Bayside's valued urban character, manages associated environmental risk and is appropriately serviced.

Given Bayside's proximity to central Melbourne and its desirable coastal location, Bayside will experience increasing pressure for additional residential development. The Minister for Planning released Victoria in Future 2014 in June 2014 which provides updated population projections for Victoria, including metropolitan Melbourne and Bayside. These revised projections anticipate that Bayside will have a total population of 112,453 by 2031, an increase of 13,026 people

The Housing Strategy (2012) nominates Growth Area Designations which define where growth will be accommodated and gives direction for how this will occur.

'Key Focus Residential Growth Areas' (which include the commercial areas of the Bayside MACs) are the areas where the majority of medium and higher density residential development will be located.

Developments within the 'Moderate Residential Growth Areas' (which includes the surrounding residential component of the Bayside MACs) will provide additional opportunities for in-fill medium density residential development, enabling people to live near the centres and provide an appropriate transition between the 'Key Focus Residential Growth Area' and the 'Minimal Residential Growth Area' (generally the rest of Bayside), retaining the spacious and leafy character, integrating with the existing streetscape and incorporating landscaping.

Given the above, the purpose of this project is to investigate the capacity for new development in smaller centres including SNACs and SRS's within the context of the type of redevelopment anticipated in higher order MACs and the surrounding residential hinterland. This project examines the capacity of such centres to accommodate change having regard to the particular conditions of each precinct.



bayside small neighbourhood activity centres

urban design assessment & guidelines

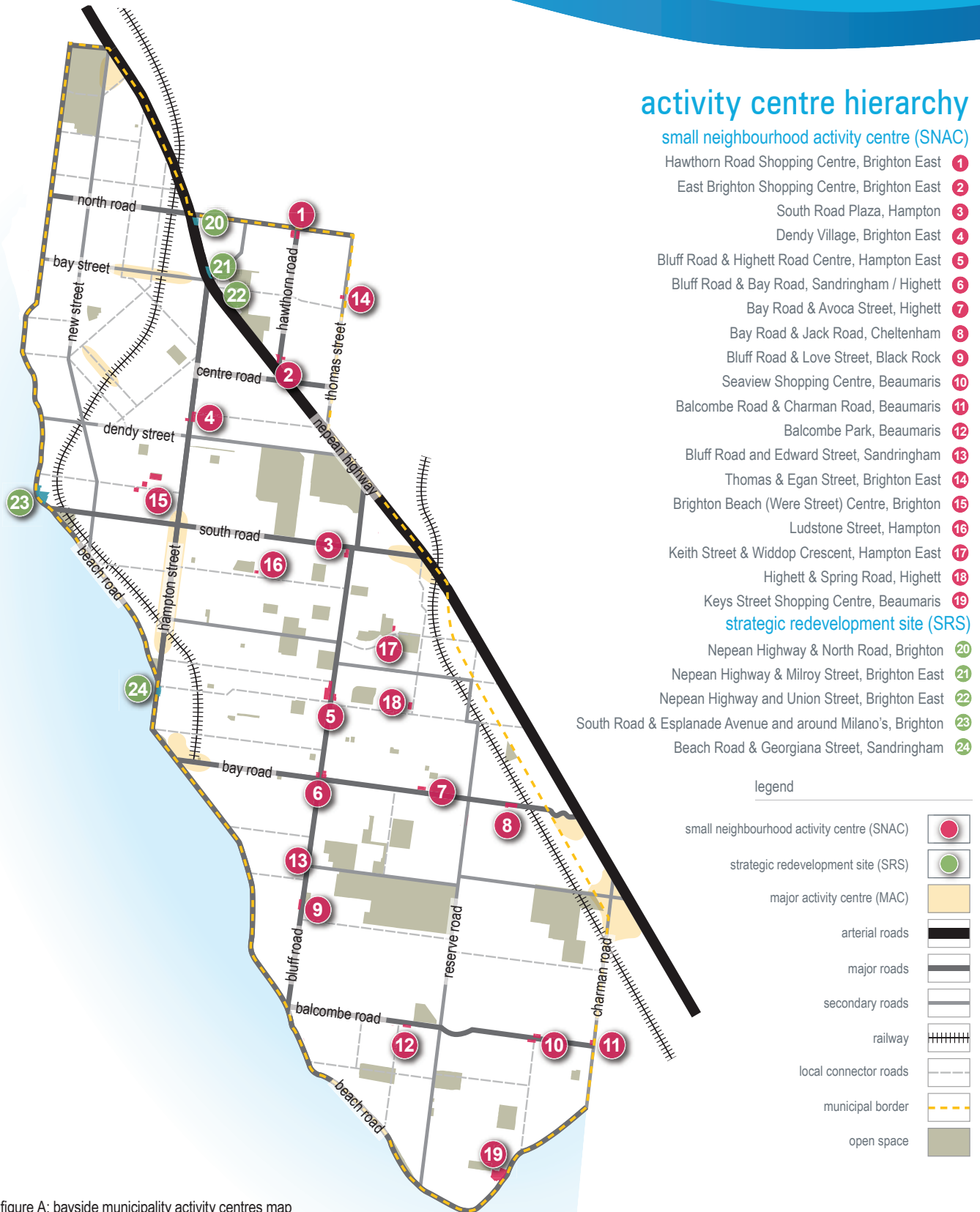


figure A: bayside municipality activity centres map

2. project methodology

The process of determining an appropriate built form for each of the Centres has been grounded in site research, analysis and assessment. The methodology employed in assessing each Centre has included:

- Detailed site investigations and documentation
- Analysis of existing land subdivision conditions and available redevelopment sites
- Consideration of any relevant heritage or traditional building elements
- Appraisal of movement networks and access to and around sites
- Inspection of Centre context, including domestic or other surroundings

There are 3 critical measures that assist in determining the degree of change that can be supported in different centres. These include:

- A centre's designation in the Bayside Activity Centre hierarchy (as a SNAC or SRS)
- A centre's 'type', having regard to its arrangement as a one or two sided strip centre
- A centre's 'setting', having regard to the influence of surrounding residential neighbourhood qualities, public transport provision or main road or coastal address.

These factors, to varying degrees have assisted in determining where more or less change can be justified, noting that sites that are positioned higher in the Activity Centre hierarchy, that are larger (ie double sided strip centres) and associated with existing public transport infrastructure, have a greater capacity for change when compared to a single sided lower order centre in an established residential context.

A summary of this assessment is provided in Figure B, which sets out the deemed capacity of each of Bayside's small centres.

2.1 activity centre status, typology & setting

The first relevant consideration in determining the capacity for change is the identified status of the Centre within the Bayside hierarchy. As set out in figure A, Bayside offers a range of smaller activity centres that can be clearly classified as SNACs such as at Were Street, Brighton or Bluff Road, Sandringham or SRS's such as the area around Brighton Beach Station.

A second consideration in relation to Activity Centre capacity relates to the 'type' of centre noting its particular size and form. In order to address the distinction between a large number of SNACs within Bayside (and for other sound reasons relating to the differentiation between Centres); it is necessary to identify a Centre's type so as to gain a critical understanding of its form and evolution and subsequently its capacity to accommodate growth. For example, within the broad categorisation of SNACs in Bayside, one can clearly interpret a distinction in potential between a double sided streetscape centre that may be more spacious than those which are more confined and occupy only one side of the street. This represents a distinction in terms of type and form.

Another influence on a Centre's capacity to change relates to its physical context or surrounds. While in the main a Centre's context will be a standard 'hinterland' residential zone and suburban stock, there are instances where the Centre setting is different, including locations where 'coastal' influences are relevant (such as Keys Street, Beaumaris). It is noteworthy that while foreshore aligned nodes may be deemed to have a natural advantage offering an aspect to the coast and a strong address, such instances are presently affected by a limiting DDO which constrains development to a mandatory maximum of 2 storeys. Furthermore, there are Centres which are effectively connected to other land uses including employment precincts, open spaces and transport infrastructure. The position of Centres on 'main road junctions' and those influenced by 'public transport' such as those located on tram lines or adjacent to train stations, can also influence and inform development capacity.

2.2 the potential for change

Given these 3 key determinants and the intention to define a template for considering the potential for change in certain Centres, attention has been given to what weight should be given to an Activity Centre's status, typology and setting.

It is appropriate to apply a series of more 'modest' development recommendations as applied to lower order SNACs. As set out in Figure B, there are 3 relative degrees of 'potential change' that can be applied in such Centres. These have generally been distinguished (for simplicity purposes) through the use of 'star' registration system designating the likely degree of change. A single star suggests a baseline condition for consolidation and 3 stars demonstrates a more advanced degree of change, similar to that which may be experienced within MACs.

In the most general terms, capacity registration for Bayside's SNACs and SRS's applies as follows:

- SRS's have the capacity to achieve varying degrees of change as a function of the size and site location, however it is anticipated that they evolve generally within those parameters identified for MACs.
- SNACs in good proximity to public transport and located on Main Road and Junction locations have the capacity to realise a degree of change that is greater than that which is identified as the baseline condition.
- SNACs, including those in coastal locations and any surrounded by standard residential hinterland should be subject to a more constrained model of development. This is identified as the 'baseline' form of consolidation

However, in certain circumstances, the designated capacity for change has been curtailed on the basis of community comment.

These parameters establish a framework for design consideration. How these principles apply to an individual site will require reference to specific site analysis and a design response.

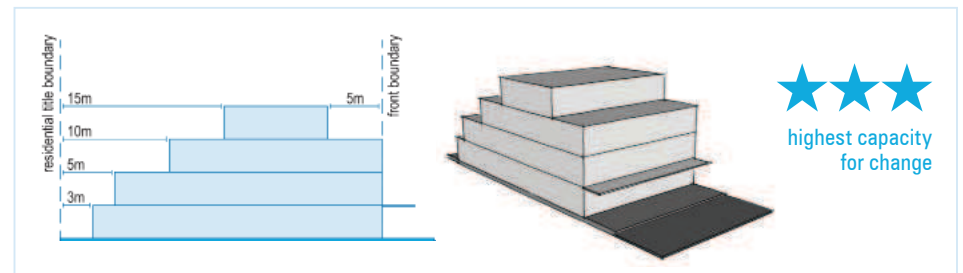
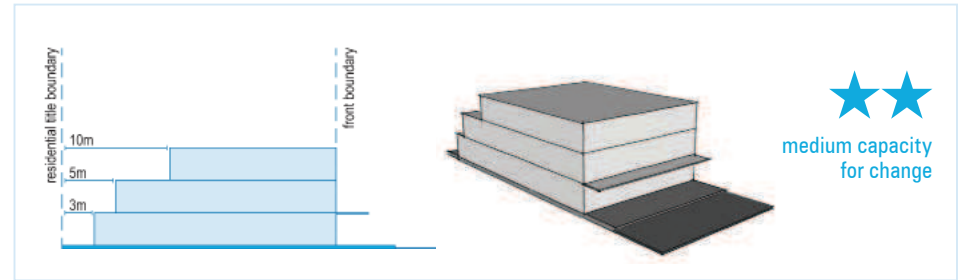
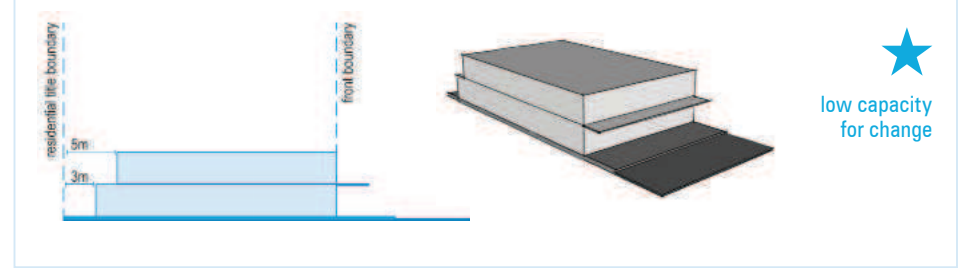
This design rationale has led to the following Capacity Analysis for smaller centres in Bayside.

figure B: bayside small centre capacity analysis

	centre name	hierarchy	setting	capacity
1	Hawthorn Rd Shopping Centre, Brighton East	●	☒ 🚌	★ ★
2	East Brighton Shopping Centre, Brighton East	●	☒ 🚌	★
3	South Rd Plaza, Hampton	●	☒	★ ★
4	Dendy Village, Brighton East	●	☒ 🏠	★ ★
5	Bluff Rd & Highett Rd Centre, Hampton East	●	☒ 🏠	★ ★
6	Bluff Rd & Bay Rd, Sandringham / Highett	●	☒ 🏠	★ ★
7	Bay Rd & Avoca St, Highett	●	☒ 🏠	★ ★
8	Bay Rd & Jack Rd, Cheltenham	●	☒ 🏠	★ ★
9	Bluff Rd & Love St, Black Rock	●	☒ 🏠	★ ★
10	Seaview Shopping Centre, Beaumaris	●	☒ 🏠	★
11	Balcombe Rd & Charman Rd, Beaumaris	●	☒ 🏠	★ ★
12	Balcombe Park, Beaumaris	●	☒ 🏠	★
13	Bluff Rd and Edward St, Sandringham	●	☒ 🏠	★ ★
14	Thomas St & Egan St, Brighton East	●	🏠	★
15	Were St Centre, Brighton	●	🏠	★
16	Ludstone St, Hampton	●	🏠	★
17	Keith St & Widdop Cres, Hampton East	●	🏠	★
18	Highett Rd & Spring Rd, Highett	●	🏠	★
19	Keys St Shopping Centre, Beaumaris	●	☒ 🌊	★ ⁺
20	Nepean Highway & North Rd, Brighton	●	☒	★
21	Nepean Highway & Milroy St, Brighton East	●	☒	★ ★ ★
22	Nepean Highway and Union Street, Brighton East	●	☒	★ ★
23	South Rd & Esplanade Ave and around Milano's, Brighton	●	☒ 🌊	★ ⁺
24	Beach Rd & Georgiana St, Sandringham	●	☒ 🌊	★ ⁺

bayside small centre capacity analysis

recommended building envelope



+ This centre is located within the coastal DDO1 and therefore mandatory height limits apply.

hierarchy

- small neighbourhood activity centre (SNAC)
- strategic redevelopment site (SRS)

setting

- 🚌 public transport oriented
- 🌊 coastal context
- ☒ main road & junctions
- 🏠 suburban hinterland

3. determining an appropriate built form

3.1 precinct opportunities and constraints

While the designation of the 'degree' of change in any Centre is an important matter, it is also critical to articulate how any future form may be realised within Bayside's smaller centres. Recognising the common elements and condition of each of the Centre's, a series of key urban design criteria have been developed as a basis for determining a future urban form. These criteria have assisted shaping the preferred urban form response in each kind of Centre. The key urban design criteria are:

physical context

Physical context is concerned with the built form surrounds within and adjacent to the centre. New buildings should ensure that linkages are created with existing parapets and roof forms. Buildings will have regard to surrounding urban form and building types, providing setback and separation where necessary. They should reiterate and reinforce the subdivision and grain of the existing subdivision patterns, a traditional grain can be reflected by introducing vertical rhythm into the facade of new buildings.

site planning

Site planning addresses orientation and the location of a building on a site. Elements of a new building should be positioned to ensure that they are responsive to the features on adjoining buildings and lots and should ensure an appropriate arrangement of building fronts and backs; meaning that the front door or primary address is to the primary street and the service entry is from a laneway (where available). This will help to create legible streetscapes.

primary active frontage

A primary active frontage is the main address of the activity centre. It refers to the street frontage where there is an active visual engagement between those in the street and those on the ground floors of buildings. This quality is assisted where the front facade of buildings (and where it wraps around a corner), including the primary entrance, faces and opens towards the main street. Maximise glazing treatments to primary active frontages.

secondary active frontage

Secondary active frontages are located on side streets and require some level of activation, whether it is direct (entrances) or indirect (overlooking windows or material effects).

views and aspect

Views and aspect to and from buildings and activity centres is an important consideration and can have a number of impacts on how development should occur. Consideration should be given to protecting and reinforcing views to key buildings and landscape features. It will be appropriate in some cases for built form and accommodation to take advantage of its natural setting and maximise views towards landscape features. Landmarks within a centre should be retained and strengthened by ensuring that thresholds are maintained around landmark features and heritage buildings.

passive surveillance

Passive surveillance is 'eyes on the street' provided by casual observation from buildings or local people as they go about their daily activities – this can deter anti-social behaviour and make places 'feel' safer.

solar access

Solar access is concerned with maintaining sunlight and limiting shadow to sensitive places in the public and private realm. The objectives of Clause 55 of the Bayside Planning Scheme should be used as a guide to ensure that unreasonable shadow is not cast over residential private open space. Development should be configured to ensure that sunlight reaches public spaces at the equinox. Within new development, buildings should be orientated to maximise northerly aspect to aid in passive sustainability.

interfaces

Interfaces relate to the direct abutments of buildings and how development will present to these and how it will impact upon them. Buildings should be scaled and moderated to ensure a transition to any residential surroundings. Even with direct abutments that may be built out over time it is possible that party walls may be exposed for considerable lengths of time. As such, each face of the building should be designed with care, providing details and articulation, including gable ends and with edges facing laneways. This will limit the potential for visual bulk and ensure that buildings are well presented when viewed from all sides.



4. design response

The guidelines outlined in each of the 24 Activity Centre profiles are founded on a consistent in-principle approach detailed below. These principles are structured around key themes of building height; street wall treatments; side/rear setbacks; public realm; design detail and environmentally sustainable development (ESD) reflecting a capacity and constraint analysis.

The guidelines provided in the profiles seek to reinforce principles of good design by promoting active frontages, a fine grained presentation to the street frontage, consistent street wall design, access and pedestrian

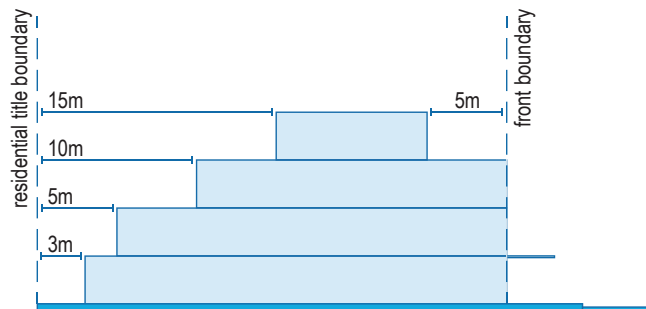
priority and proper public realm effects. The guidelines also seek to ensure that transitional setback arrangements are provided to sensitive residential interfaces with support from environmentally responsive design. While these are relatively generic as applied to SNACs and SRS's, the following illustrations indicate the preferred urban form arrangement of attached business and mixed use form in each Activity Centre by type (refer Figure B for key).

SRS on main road and junction

Includes Activity Centre numbered 21 & 22.

built form principles:

- Overall height of four storeys.
- Street wall of three storeys with zero lot alignment and a 5m setback at third floor level (fourth storey), measured to the title boundary.
- Side/rear setbacks from residential abuttal of 3m at ground floor, 5m at first floor, 10m at second floor level, and 15m at third floor level, measured from the adjoining title boundary.

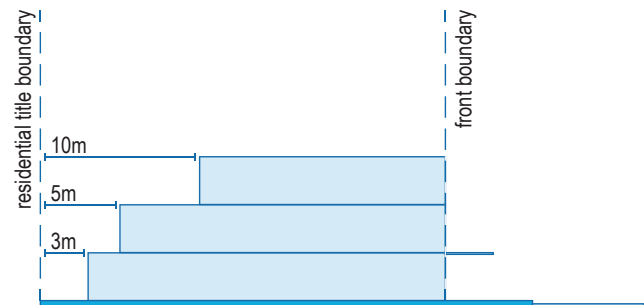


SNACs in public transport settings and on main roads and junctions

Includes Activity Centres numbered 1, 3-9, 11 & 13.

built form principles:

- Overall height of three storeys.
- Street wall of three storeys with zero lot alignment.
- Side/rear setbacks from residential abuttal of 3m at ground floor, 5m at first floor and 10m at second floor level, measured from the adjoining title boundary.

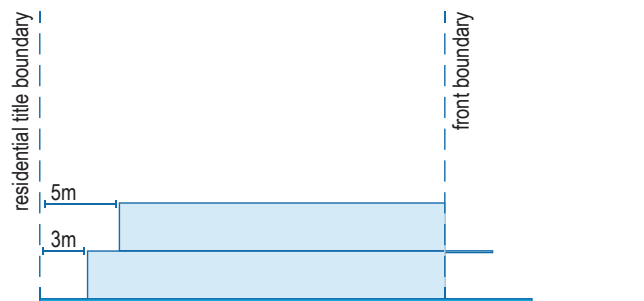


SNACs and SRSs in hinterland or coastal settings

Includes Activity Centres numbered 2, 10, 12, 14 -19, 20, 23+ & 24+.

built form principles:

- Overall height of two storeys.
- Street wall of two storeys with zero lot alignment.
- Rear setbacks of 3m at ground floor and 5m at first floor, measured from the adjoining title boundary.



**Centres numbered 19, 23 and 24 are located within the Coastal DDO1 and therefore mandatory height limits apply.*

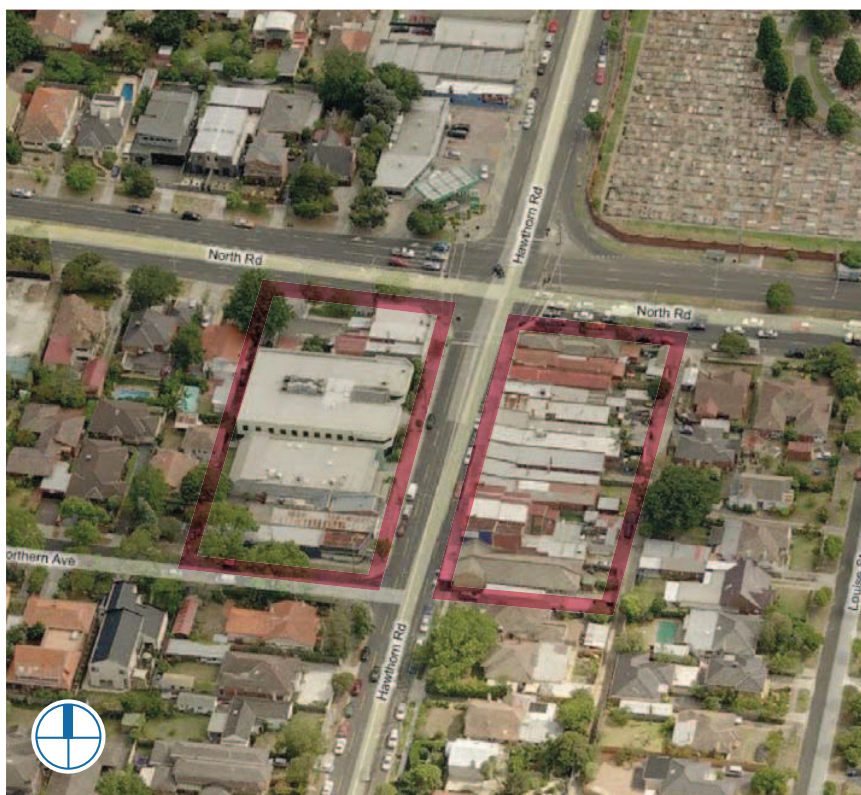
bayside small neighbourhood activity centres

urban design profiles & guidelines

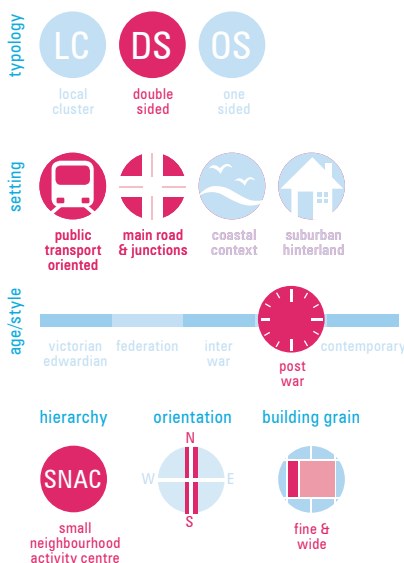


1

hawthorn road shopping centre, brighton east



existing conditions



primary activities

retail and office

general building height

1-3 storey (fine grain retail 1-2 storeys, offices mostly 2-3 storeys)

area

6,180sqm

interface treatments/features

rear laneways for car park access

percentage of active frontage

50%

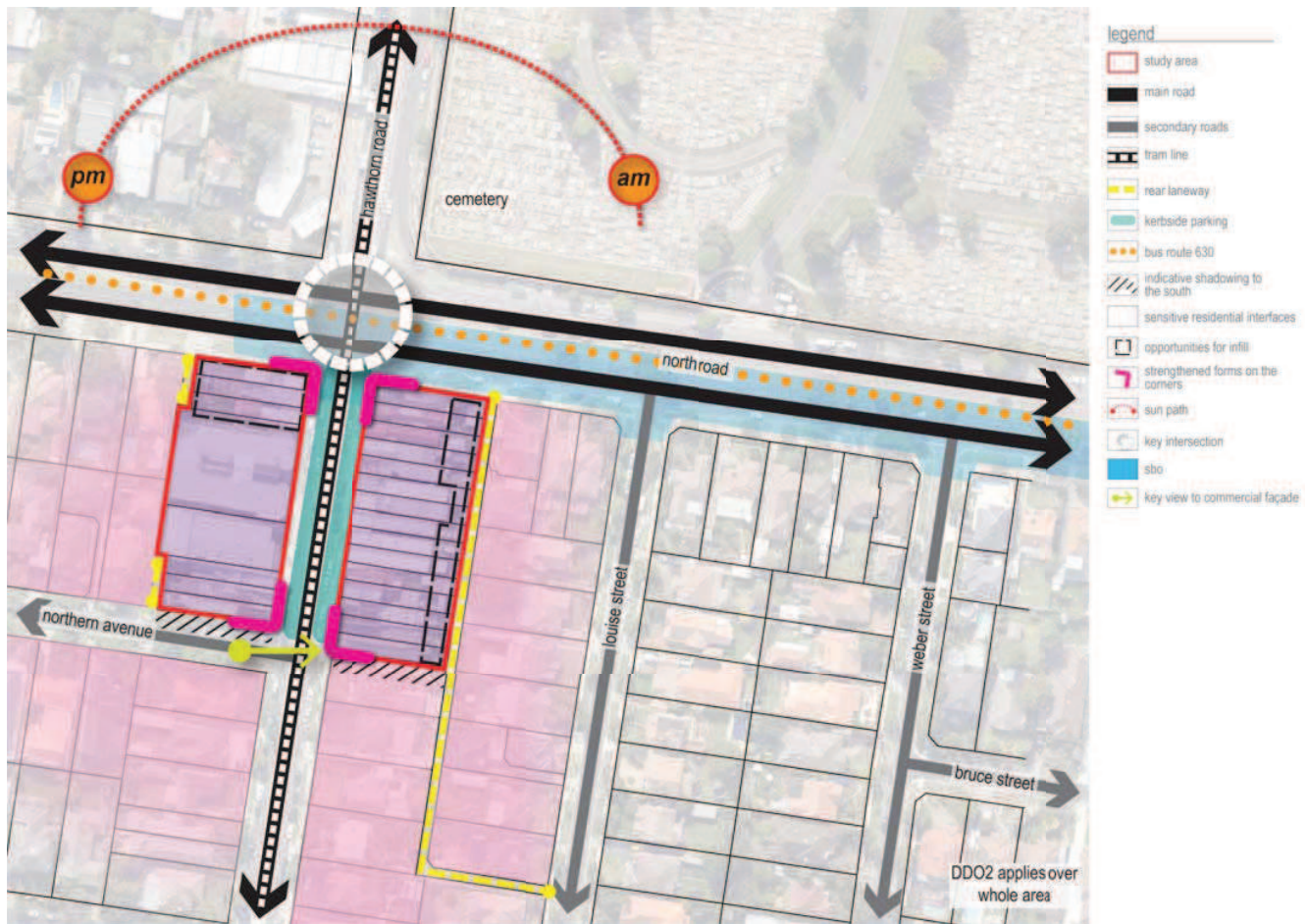
discussion

The centre features a mix of retail and offices which accounts for the comparatively low degree of active frontages in the centre, noting a lesser degree of activity is on the western side of Hawthorn Road. Fine grain shopfronts line the east side whilst the west side is more varied. Generally canopies cover footpaths on both sides of the street. The residential surrounds are older interwar dwelling stock. To the north of the centre is a service station and cemetery which are in the City of Glen Eira.



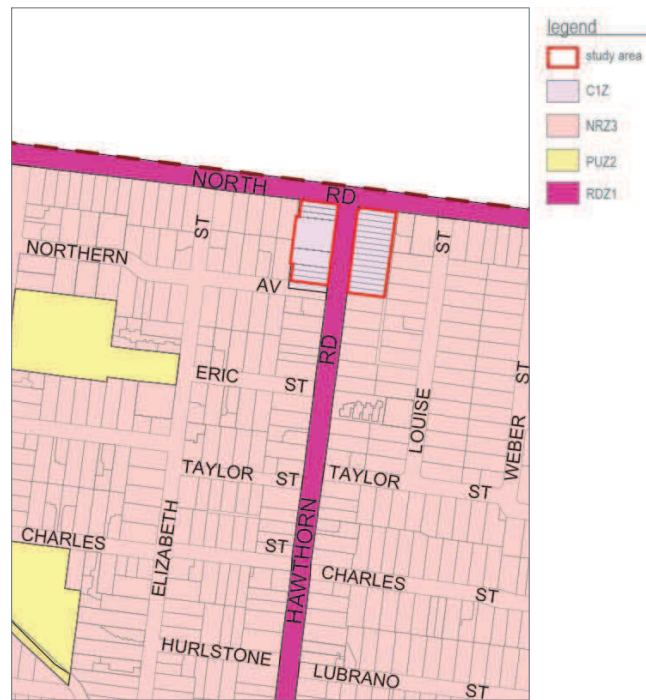
development capacity ★★

opportunities and constraints




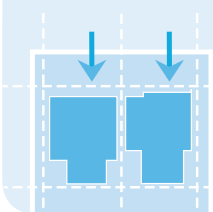
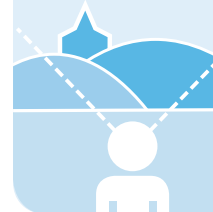


implications

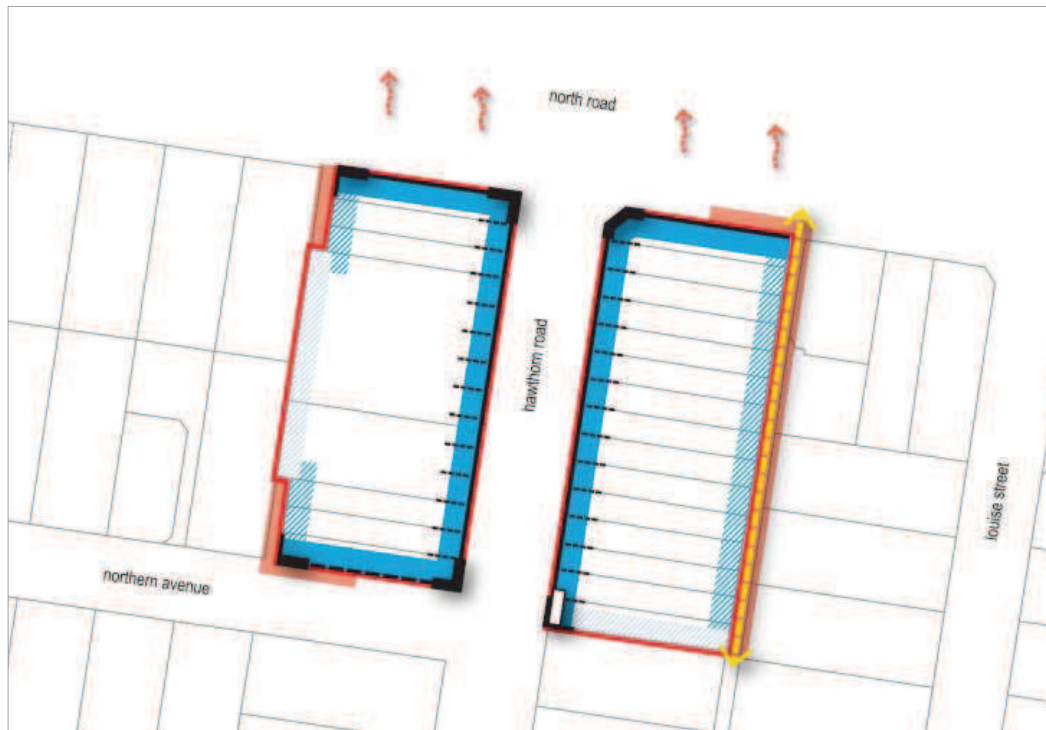
- State planning policy promotes consolidation within activity centres which are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces. Rear access to the large sites on the west side of the Hawthorn Rd is limited due to an impermeable street network.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- There are large sites fronting the west side of Hawthorn Rd which present a much wider street frontage. Redevelopment should ensure a human scale and fine grain streetscape treatment.
- There is capacity for change in rear setbacks abutting laneways as well as parking abutting North Rd. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
--	--	---	---	---



legend

- study area
- 3 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect
- new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
240m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

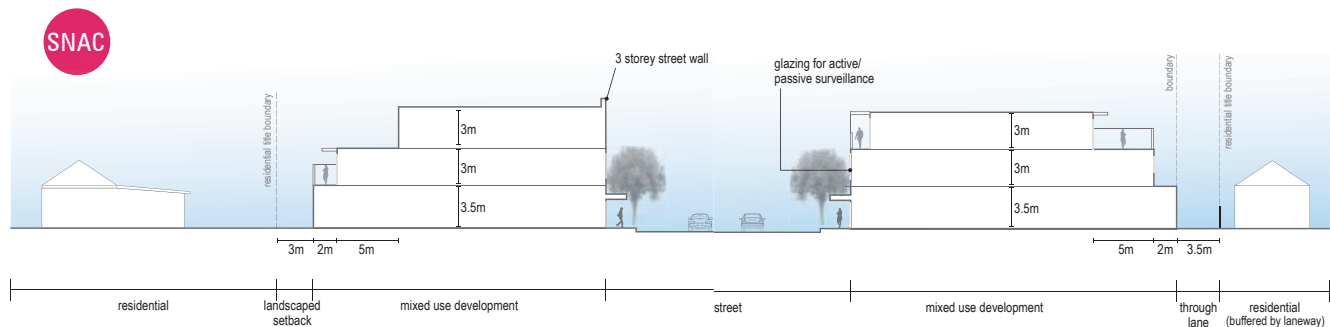
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

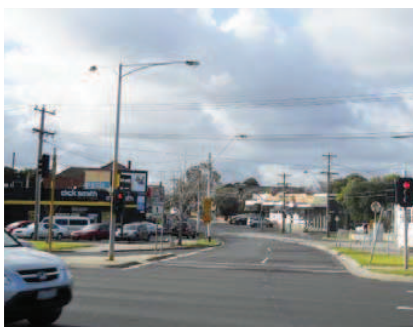


bayside small neighbourhood activity centres

urban design profiles & guidelines

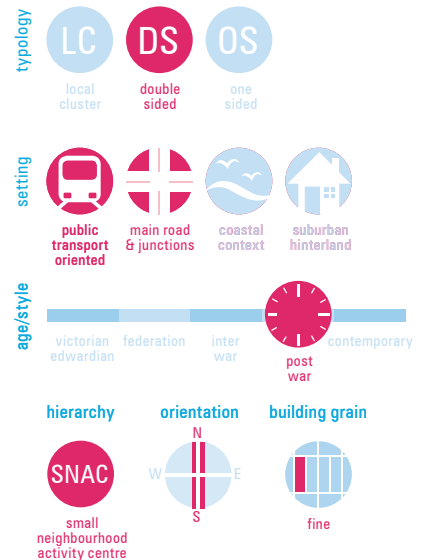


east brighton shopping centre, brighton east



development capacity ★

existing conditions



primary activities

retail

general building height

1-2 storeys

area

4,020sqm

interface treatments/features

rear laneway for car park access

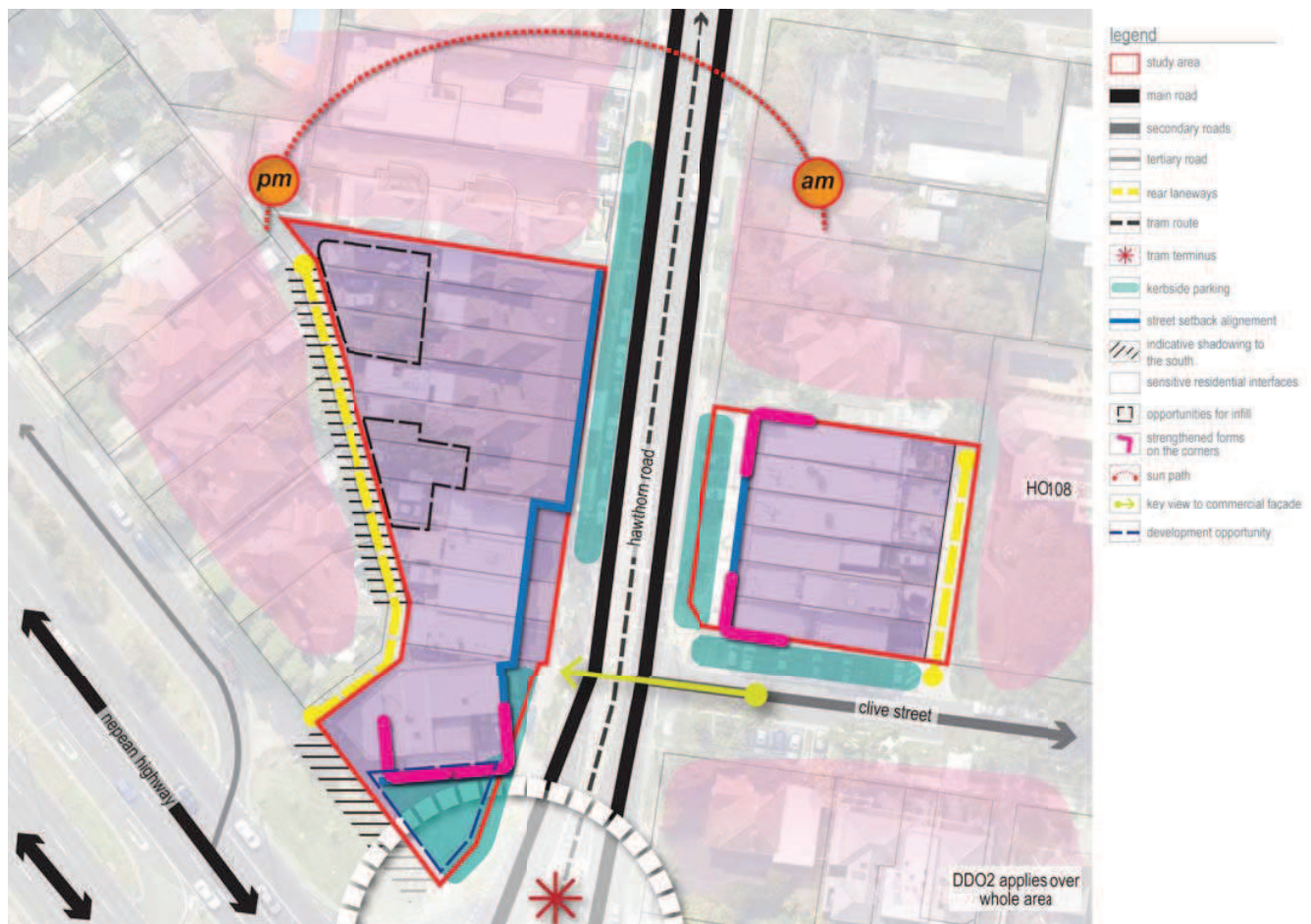
percentage of active frontage

east 20%, west 100%

discussion

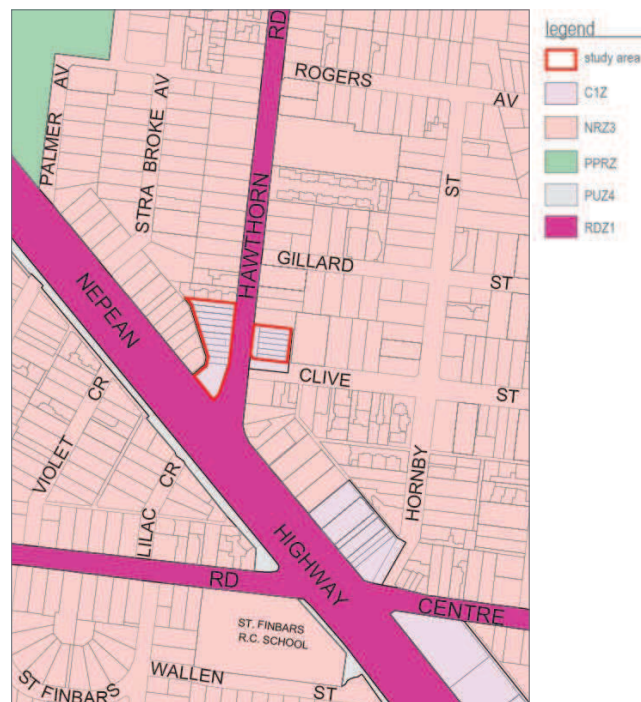
Brighton East is adjacent to tram route 64 terminus. It is a mixed retail precinct servicing local needs including a small supermarket (east side Hawthorn Road) which has a largely inactive edge. A low scale mostly detached dwelling form in garden setting is typical of areas to the north. Street trees are limited, however consistent weather protection canopies are provided. A mix of parallel and perpendicular car parking is available on Hawthorn Road. Nepean Highway is less convenient for car parking.

opportunities and constraints




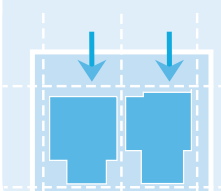

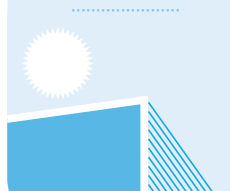
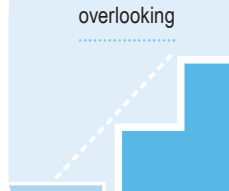
implications

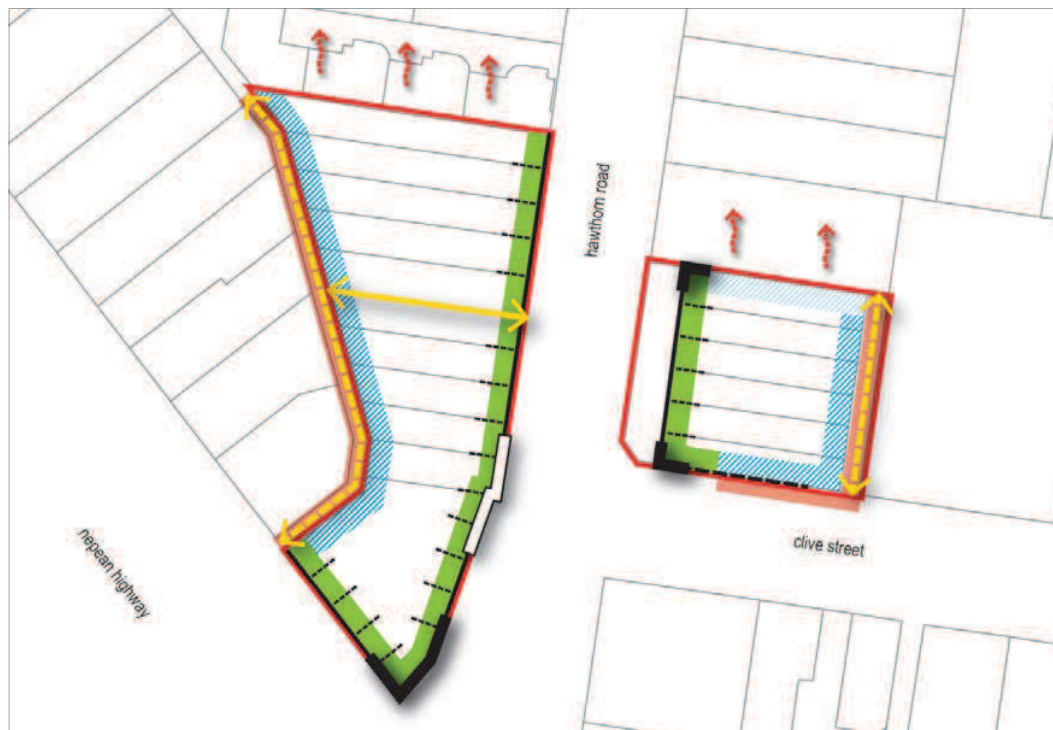
- State planning policy promotes consolidation within activity centres which are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- The angular alignment of Hawthorn Rd and Nepean Hwy creates an atypical street network with limited permeability. Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- A misalignment in the street wall along the western side of Hawthorn Rd creates a disjointed pedestrian view line.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Changes in grain through consolidation can negatively affect the fine grain character of this centre.
- There is capacity for change in rear setbacks abutting laneways. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
---	---	--	--	--



legend

- study area
- 2 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abutts*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑↑ maximise northerly aspect
- ↔ pedestrian thoroughfare
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
170m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

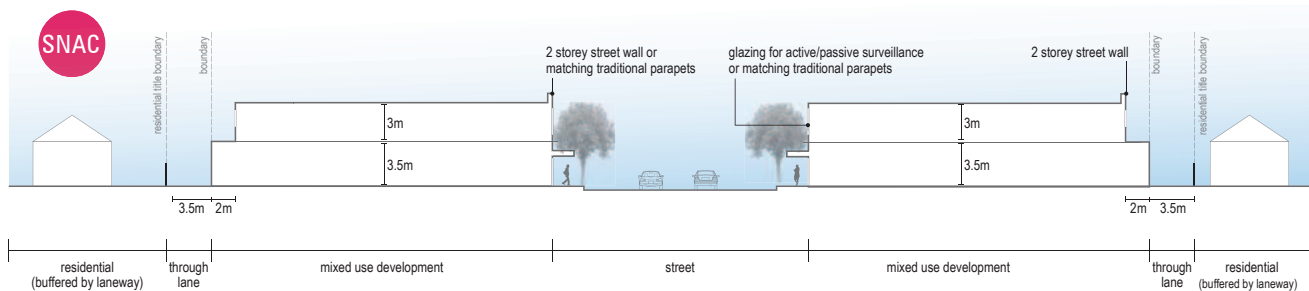
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines

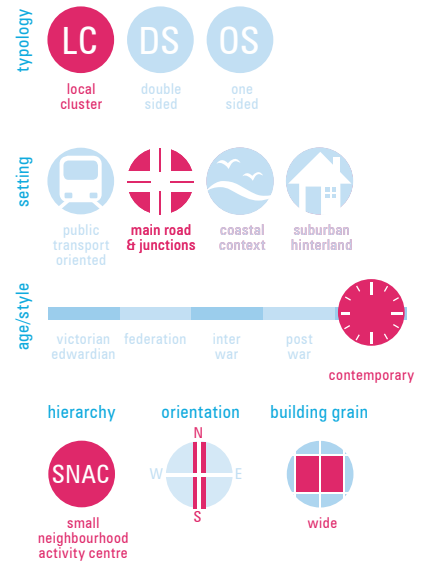


3

south road plaza, hampton



existing conditions



primary activities

retail (restaurants, market, small petrol station, fitness etc)

general building height

1-2 storeys

area

3,896sqm

interface treatments/features

no buffering laneways to the abutments

percentage of active frontage

100%

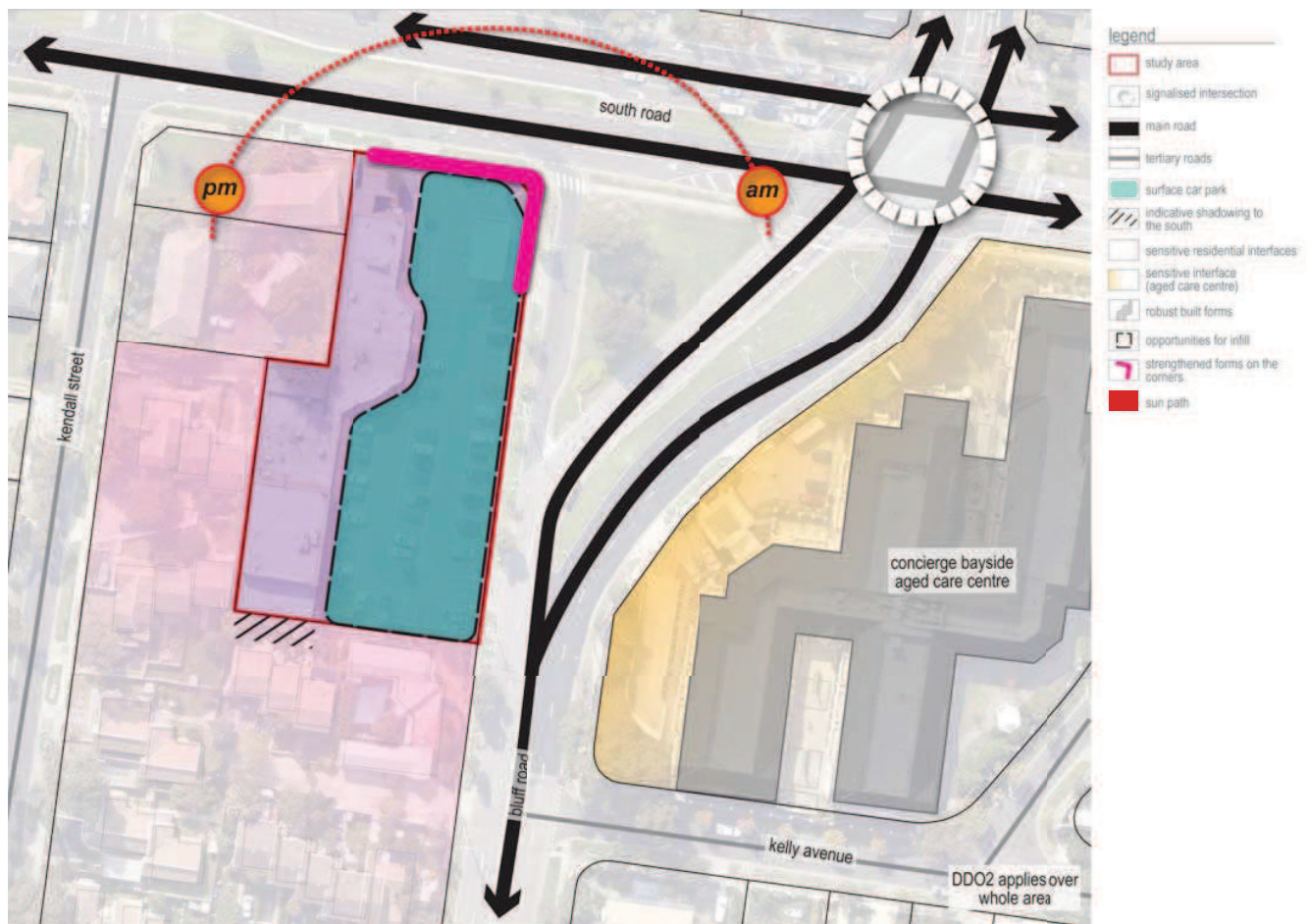
discussion

Large surface car parks buffer the one-two storey building from the street edges. Primary frontage and address is to Bluff Road. It is in one ownership with a focus on local convenience shops and services but lacks a visible profile to the street due to the substantial building setbacks. A fitness centre occupies the only two storey component. Castlefield Community Centre is to the south whilst a substantial two storey aged care facility is to the east.



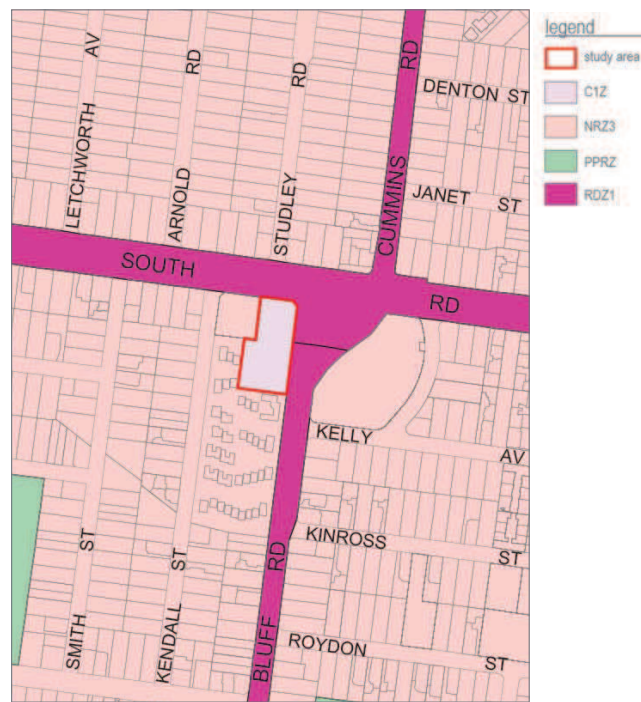
development capacity ★★

opportunities and constraints




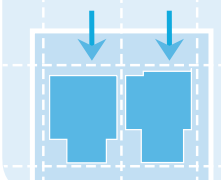

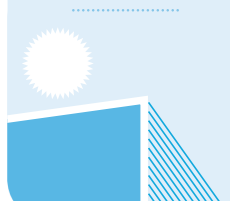
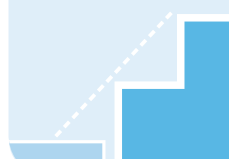
implications

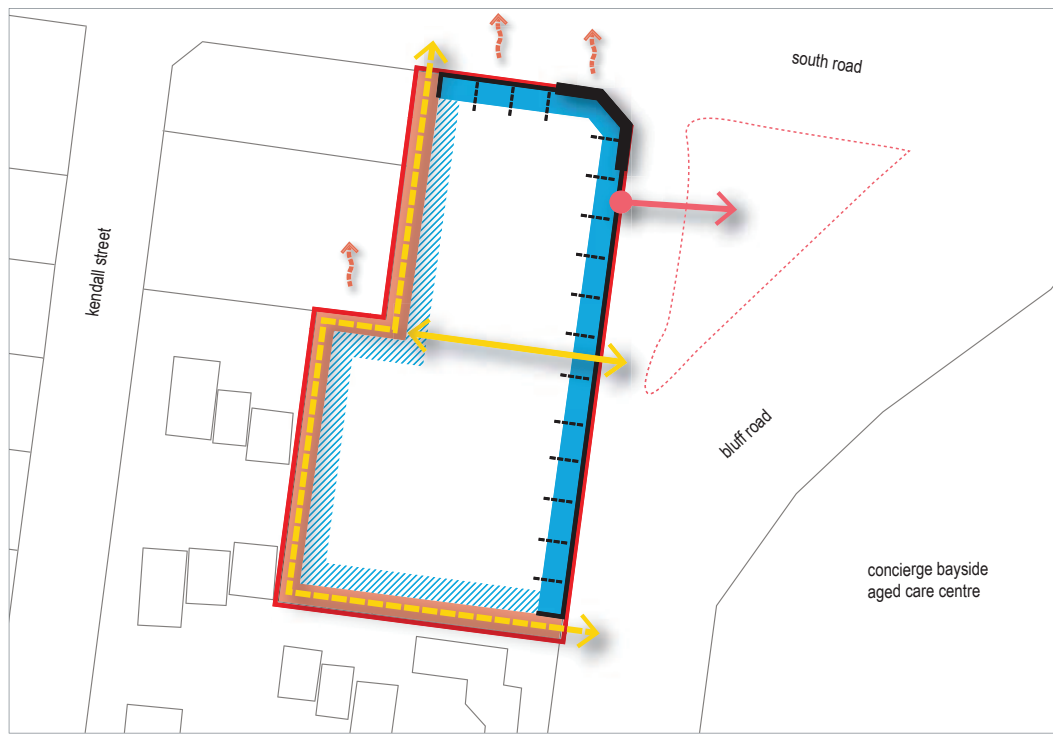
- State planning policy promotes consolidation within activity centres and along key arterial roads. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- The centre comprises one large corner site with two main road frontages, providing the opportunity for several configurations of built form massing to be realised across the site, as well as a more intense built form to be absorbed at the centre of the property. Redevelopment of the site would require the provision of access, which can occur from both of the street frontages.
- The north-east site corner can incorporate massing and detail to announce the corner, as a key orientation mark.
- Redevelopment on the site has the opportunity to create a human scale presentation to and better integration with the footpath.
- Appropriate management of the residential interface to the west and south is necessary having regard to overlooking, overshadowing and visual bulk effects of future redevelopments.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <ul style="list-style-type: none"> Ensure linkages with existing parapets and / or roof forms Have regard to surrounding urban form and building types Reiterate surrounding subdivision pattern and grain 	<p>site planning</p> <ul style="list-style-type: none"> Encourage site design that is place responsive Ensure primary address to the street with service entries to rear laneways Provide active frontages (including at upper levels) that support passive surveillance 	<p>views + aspect</p> <ul style="list-style-type: none"> Protect and reinforce views to key buildings and features Design with regard to the natural setting and potential aspect Provide sensitive treatment around landmark features and heritage buildings 	<p>solar access</p> <ul style="list-style-type: none"> Avoid casting unreasonable shadow over residential private open space Configure development to ensure sunlight to public spaces at the equinox Optimise the northerly aspect in new development 	<p>interfaces</p> <ul style="list-style-type: none"> Ensure transitions to residential surroundings for amenity purposes Design all visible façades to ensure attractive edges and public presentation Configure development to limit the potential for visual bulk and overlooking 
--	--	---	---	---



legend

- study area
- 3 storey street wall
- transitional setbacks*
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect
- pedestrian thoroughfare
- new connections/extend laneways
- maintain solar access to public space

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
 113m (including proposed primary active frontages as shown in plan)

proposed urban form concept plan

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland or open space should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

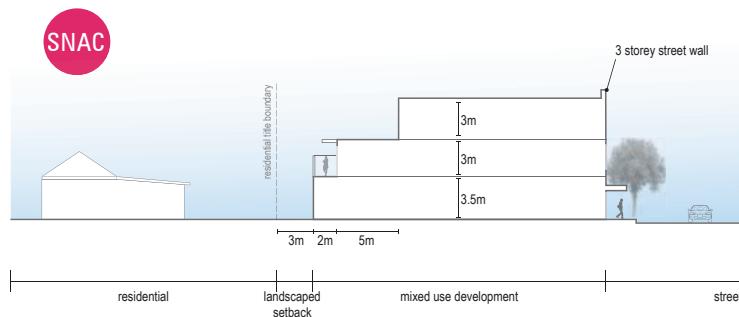
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines



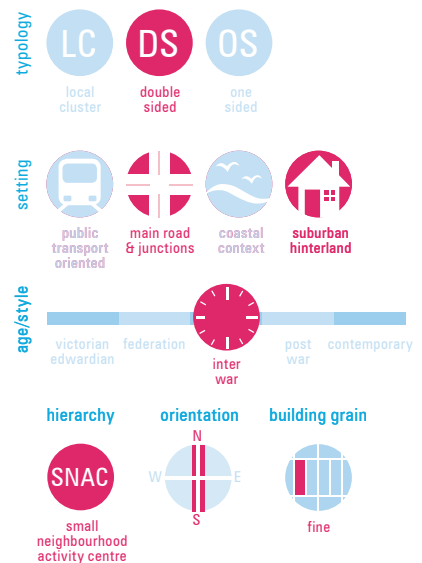
4

dendy village, hampton street, brighton east



development capacity ★★

existing conditions



primary activities

retail (cafes, restaurants, pharmacy etc)

general building height

1-2 storey

area

7,919sqm

interface treatments/features

rear laneways for car park access

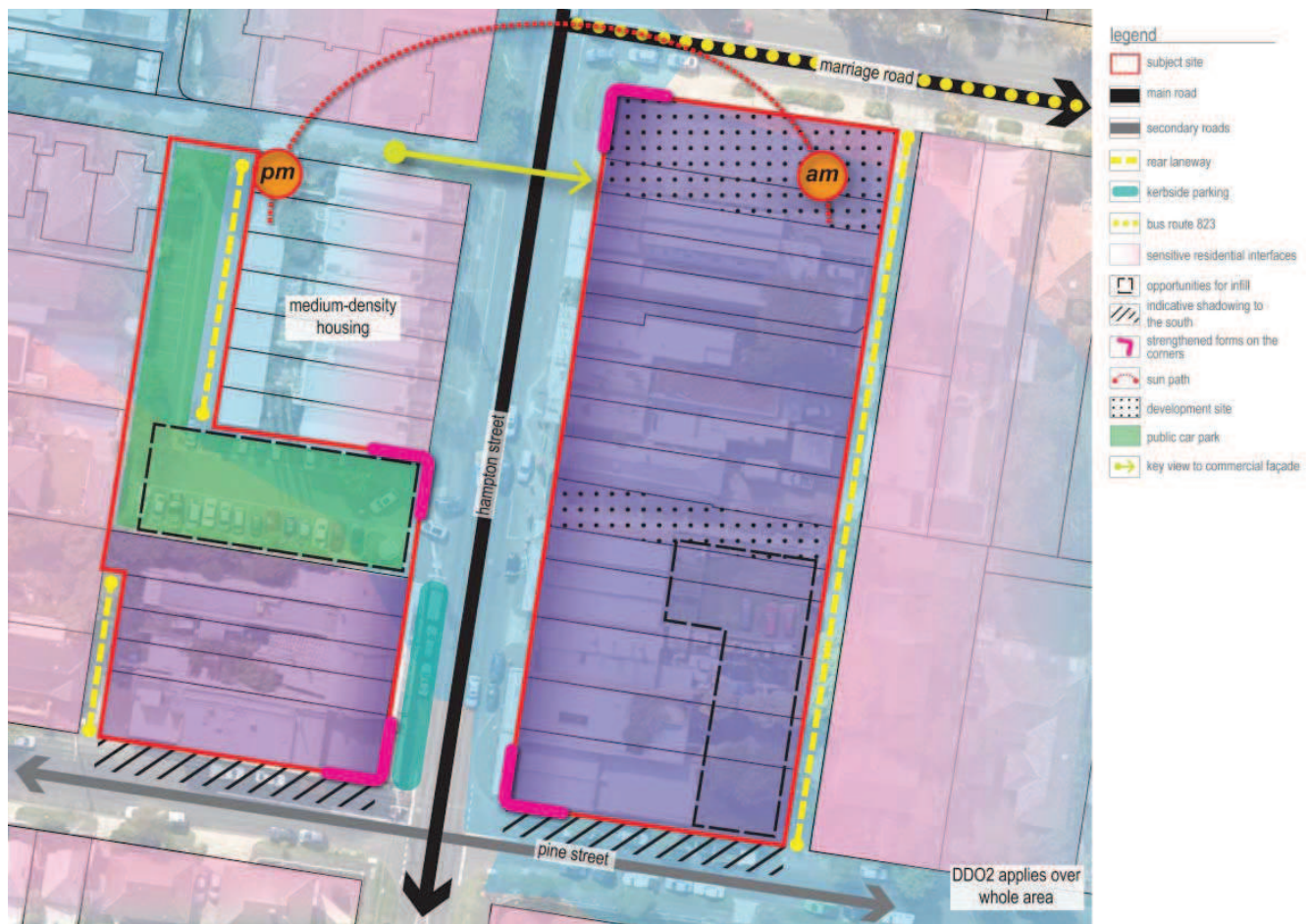
percentage of active frontage

east side 20%, west side 100%

discussion

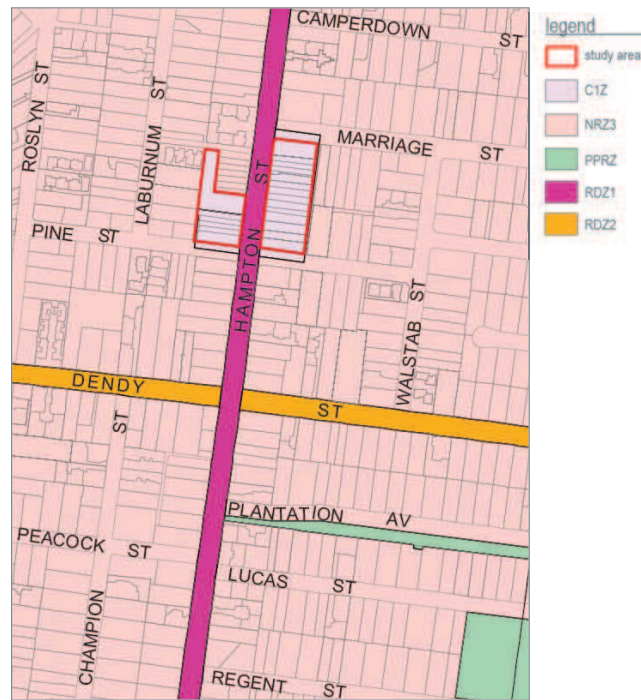
Dendy Village is a vibrant local convenience centre positioned at a dip in Hampton Street. It sits amongst a mostly low scale residential precinct with well established tree canopy backdrop. Dense built form within the centre results from narrow allotments maximising retail opportunities. Street tree planting forms an avenue leading into the centre with central median planting in the retail strip where weather protection canopies overhang the footpath forming an intimate feel to the centre. Parallel kerbside parking line Hampton Street with rear laneway servicing the east side of the strip.

opportunities and constraints




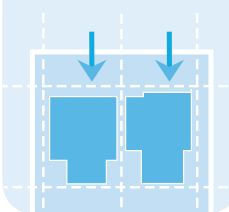
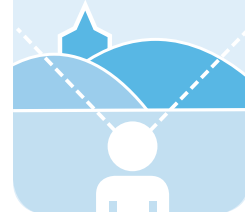

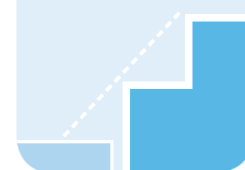
implications

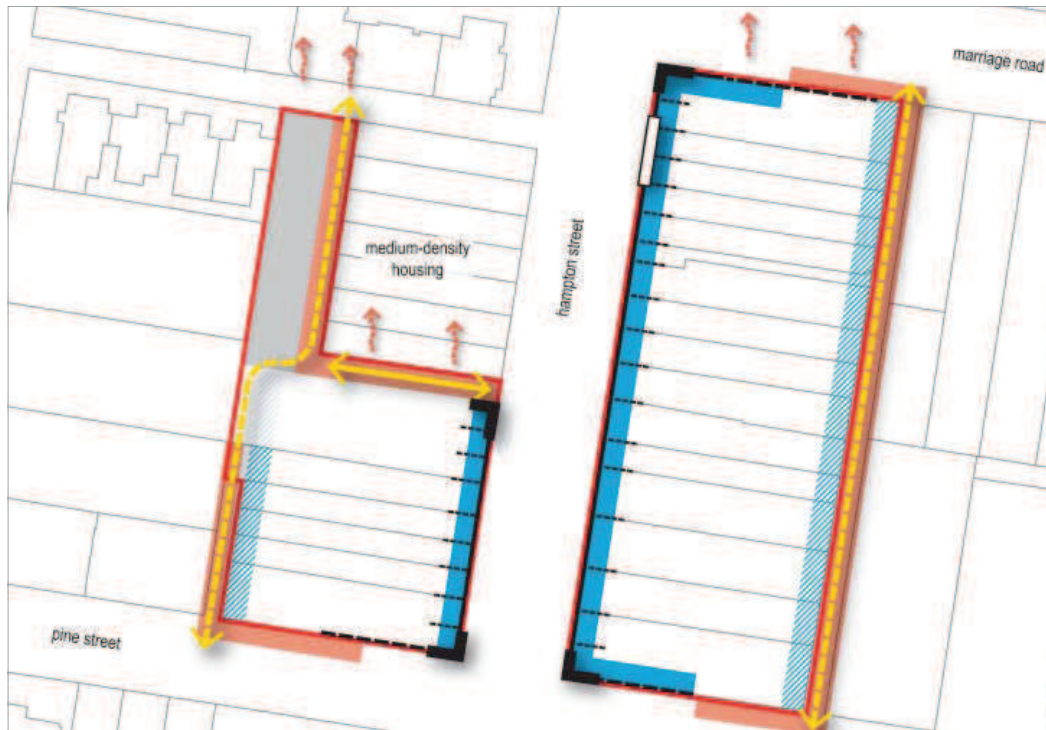
- State planning policy promotes consolidation within activity centres which are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces. The public car park provides an additional buffer to residential private open space, as well as offering further parking opportunities.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Changes in grain through consolidation can negatively affect the fine grain character of this centre.
- Several sites on the east side of Hampton St are currently under construction so are unlikely to be redeveloped in the near future. However there is capacity for change in rear setbacks abutting laneways. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
--	--	---	---	---



legend

- study area
- 3 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑↑ maximise northerly aspect
- ↔ pedestrian thoroughfare
- ↔ new connections/extend laneways
- retain as car park

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
 173m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland or open space should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

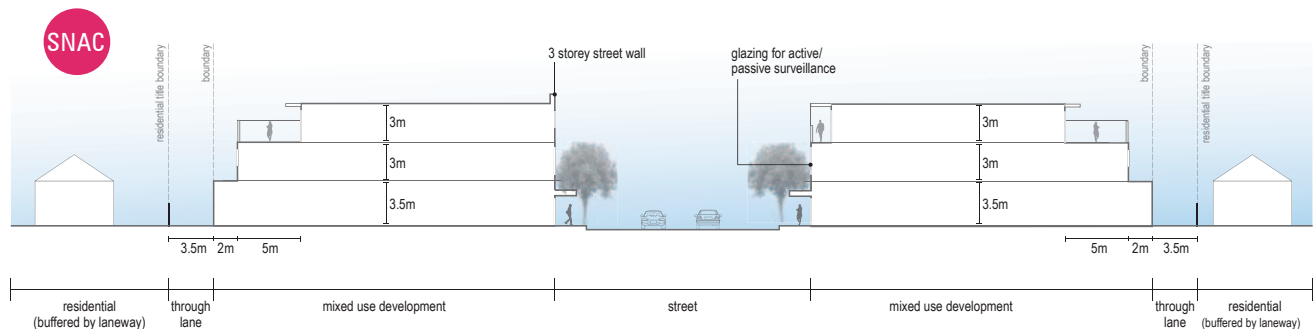
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



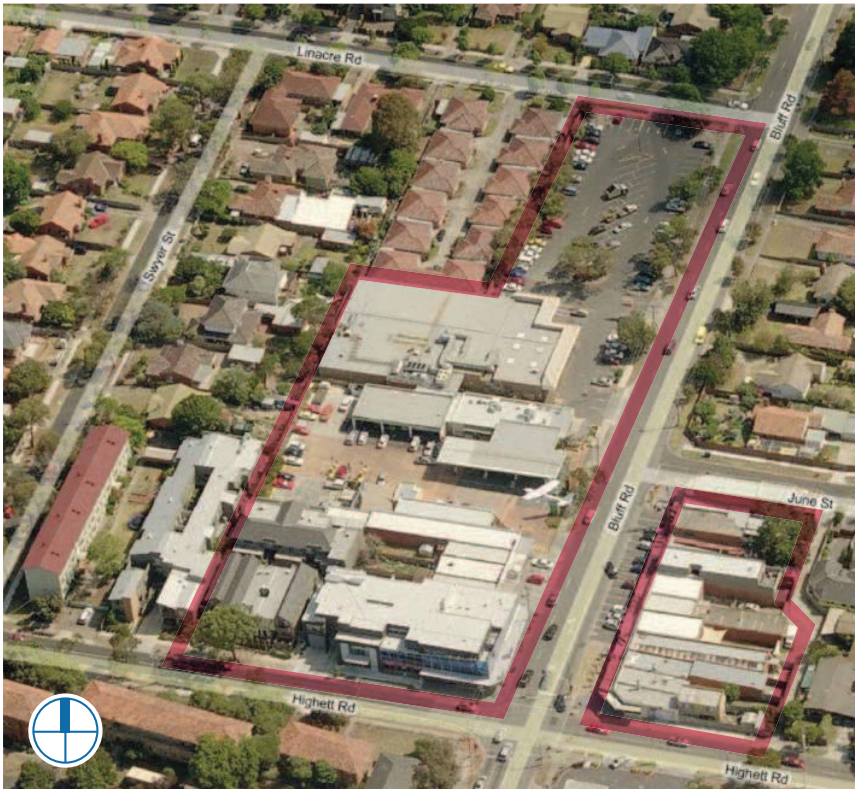
bayside small neighbourhood activity centres

urban design profiles & guidelines



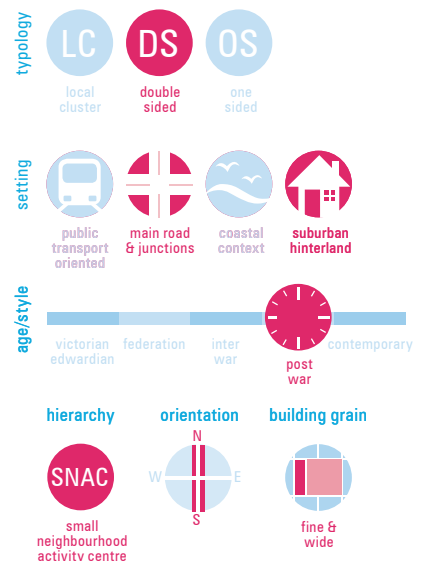
5

bluff road & highett road centre, hampton east



development capacity ★★

existing conditions



primary activities

retail (restaurants, clinics, pharmacy, service business) and large format retail (coles)

general building height

1-3 storeys

area

1.38 hectares

interface treatments/features

rear to side abuttal laneways for car park access

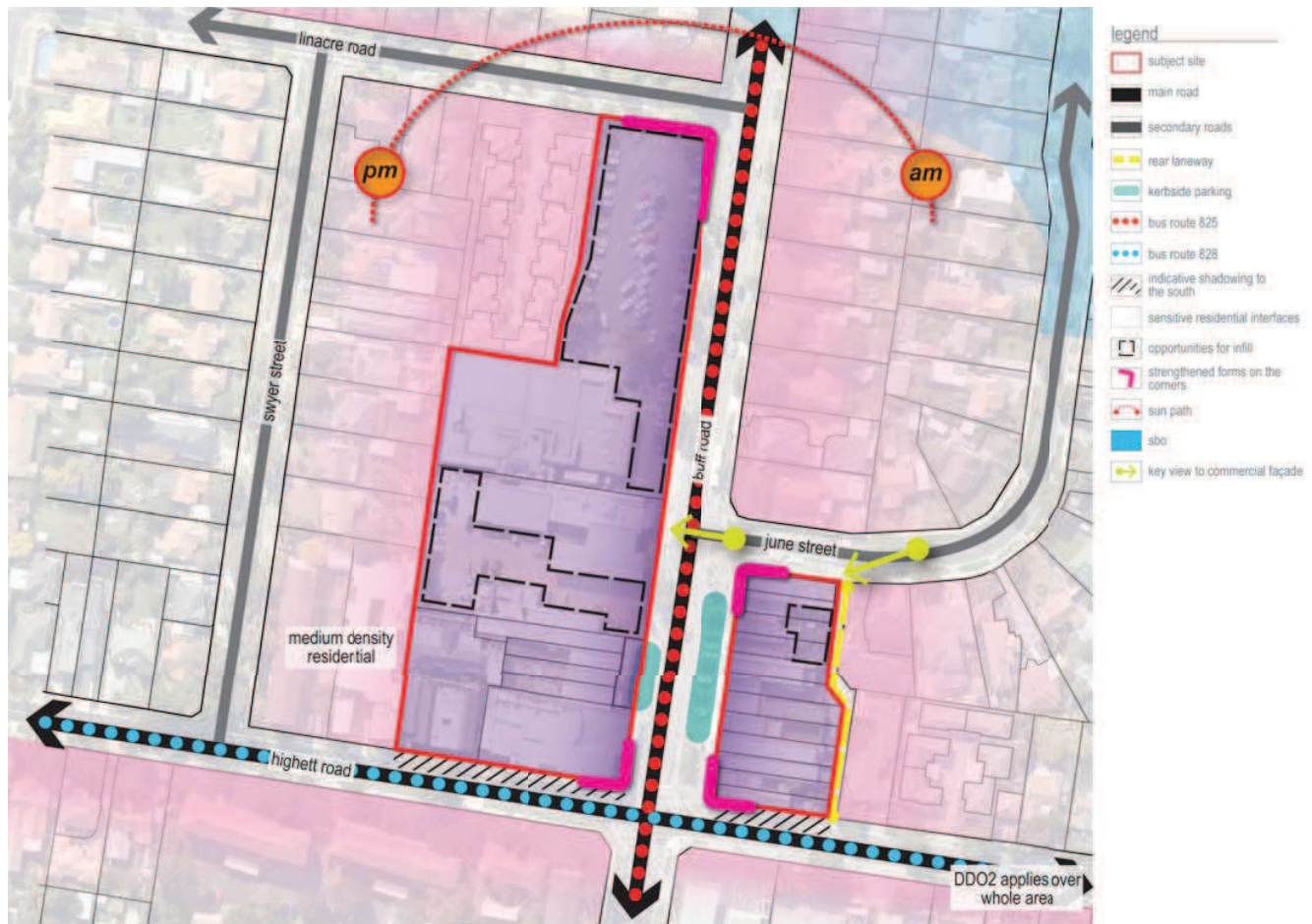
percentage of active frontage

90%

discussion

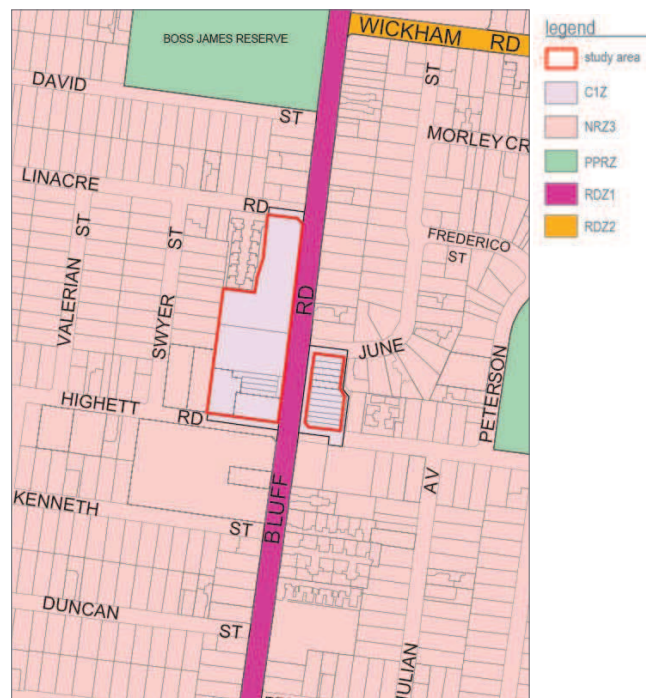
Hampton East has a notable presence of recent development up to 3 storeys. It is prominent in axial views from residential streets and has a notable lack of street tree planting or landscape character. Parallel car parking lines the west side of Bluff Road whilst inset car parking perpendicular to Bluff Road and setback shopfronts line the east side. Outdoor dining activity is present.

opportunities and constraints




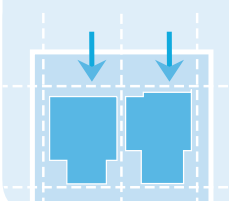

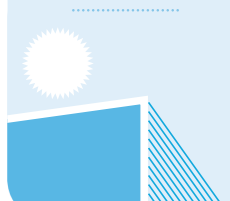
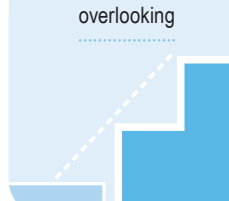
implications

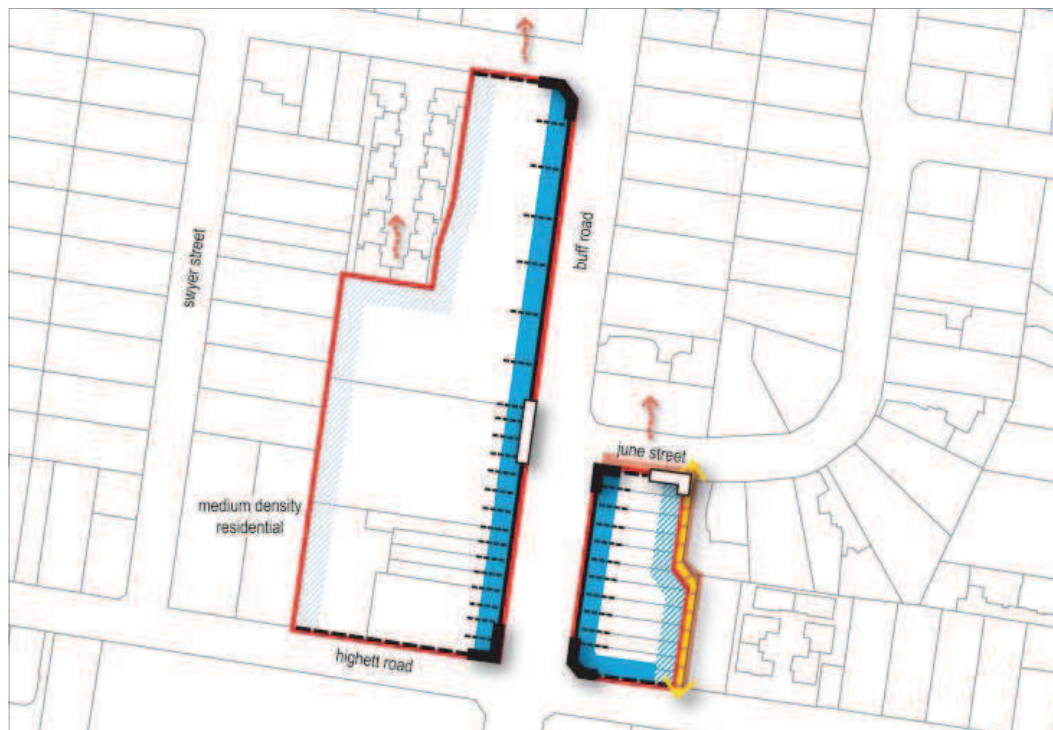
- State planning policy promotes consolidation within activity centres which are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Several sites fronting west of Bluff Rd present wider street frontages. Redevelopment of these sites provides the opportunity to establish a finer grain and human scale streetscape.
- The site at the western corner of Highett and Bluff Roads has been developed recently so is unlikely to be redeveloped in the near future. Surface car parking areas have capacity for significant change. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
---	---	--	--	--



- legend**
- study area
 - 3 storey street wall
 - transitional setbacks*
 - transitional setbacks to direct residential abuttal*
 - announce corner through design treatments
 - design detail at street vista termination point
 - reflect subdivision grain
 - primary active frontage
 - secondary active frontage
 - provide passive surveillance
 - ↑↑ maximise northerly aspect
 - ↔ new connections/extend laneways
- * transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage

306m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

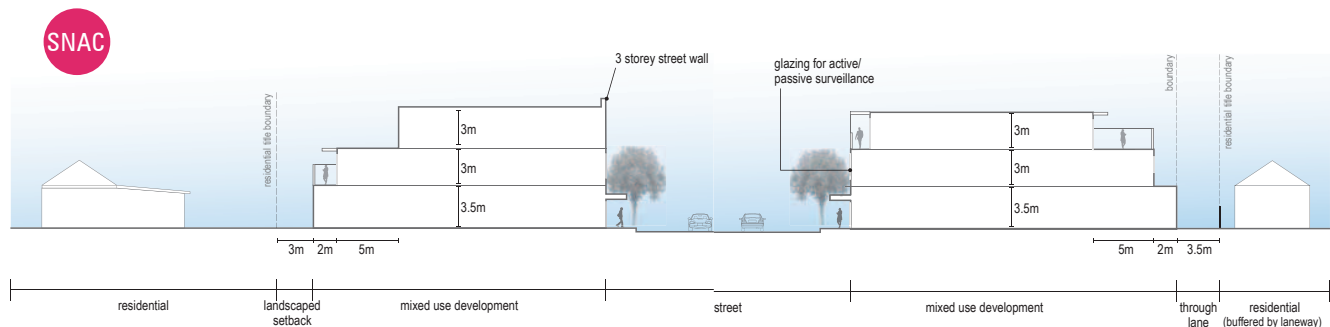
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



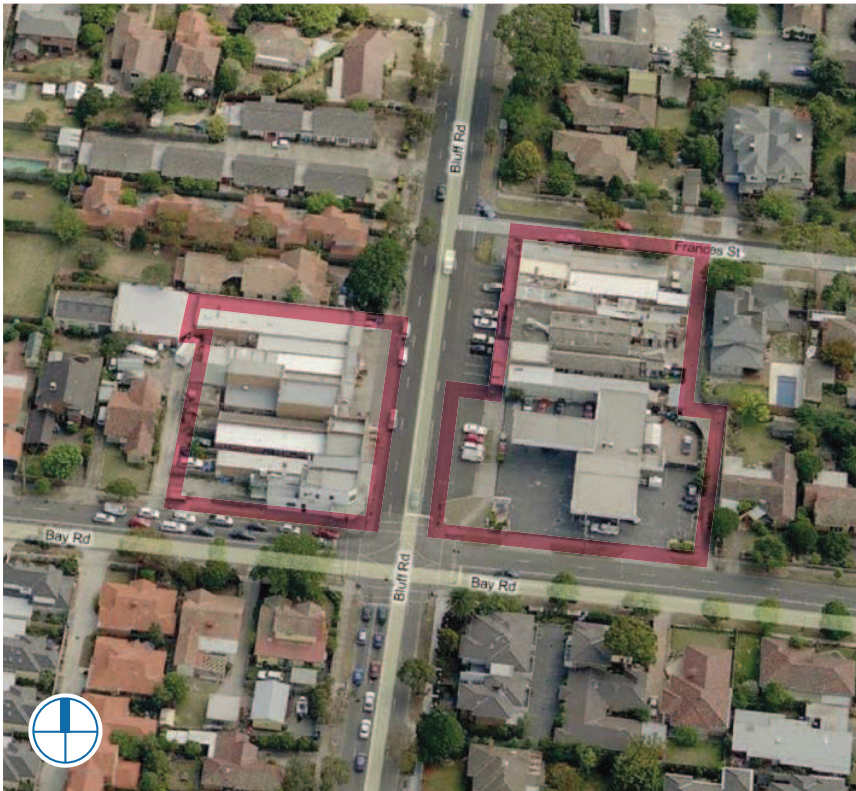
bayside small neighbourhood activity centres

urban design profiles & guidelines



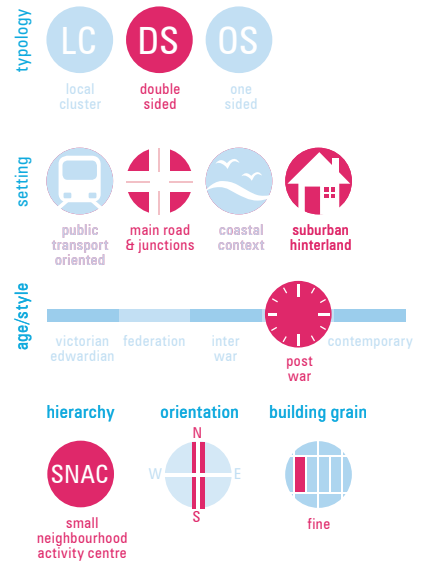
6

bluff road & bay road, sandringham / highett



development capacity ★★

existing conditions



primary activities

retail (convenience stores, dry cleaning, bottle shop, physio, petrol station etc)

general building height

1-2 storeys

area

5,692sqm

interface treatments/features

rear laneways for car park access to the east and west

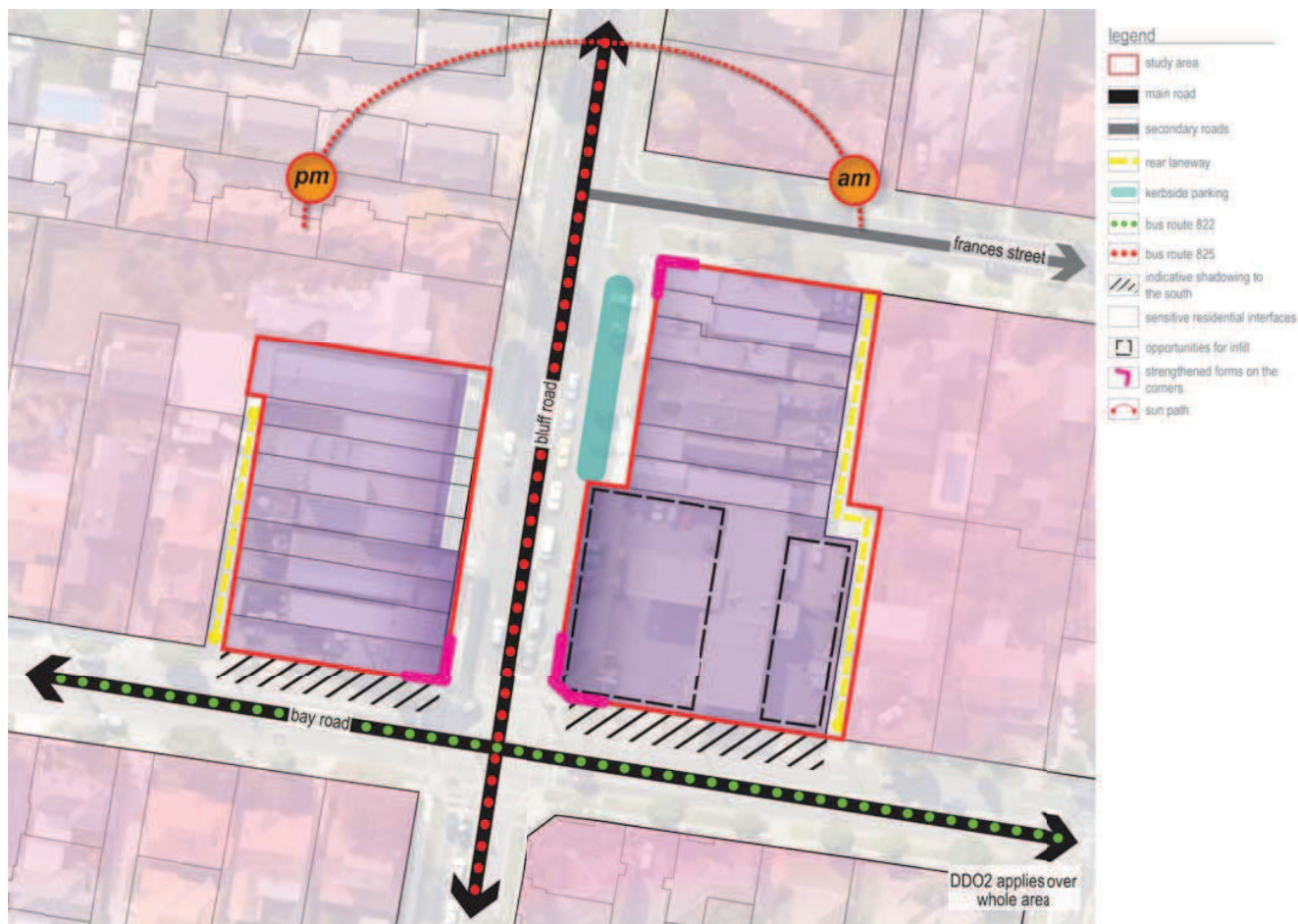
percentage of active frontage

60-70%

discussion

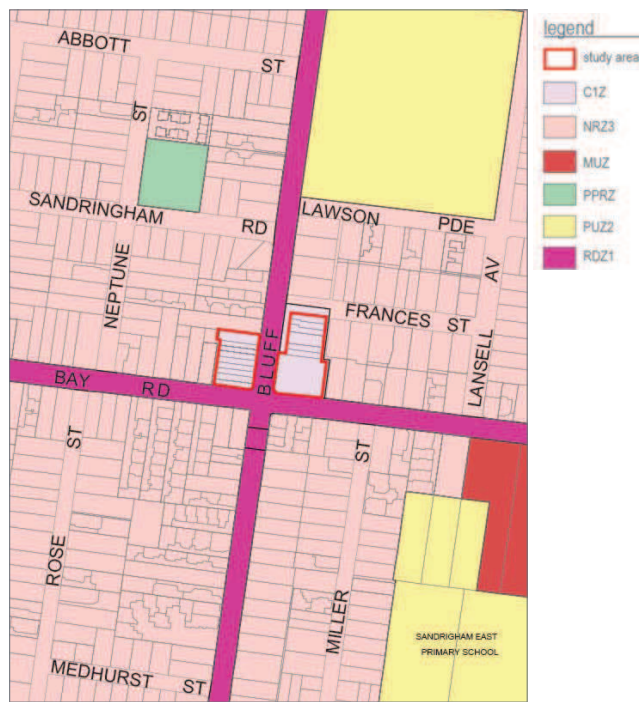
A petrol station, with expanses of surface car parking/bowser areas anchors the southern part of this centre. The mostly single storey centre has consistent retail shopfronts to the street edge. A notable area of indented perpendicular car parking characterises the eastern side of Bluff Road with a correlating inseting of buildings and the public footpath from the road edge. There is a slightly undulating topography in the locality and a number of medium density housing developments in the immediate residential surrounds.

opportunities and constraints




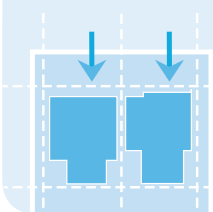
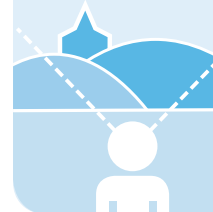


implications

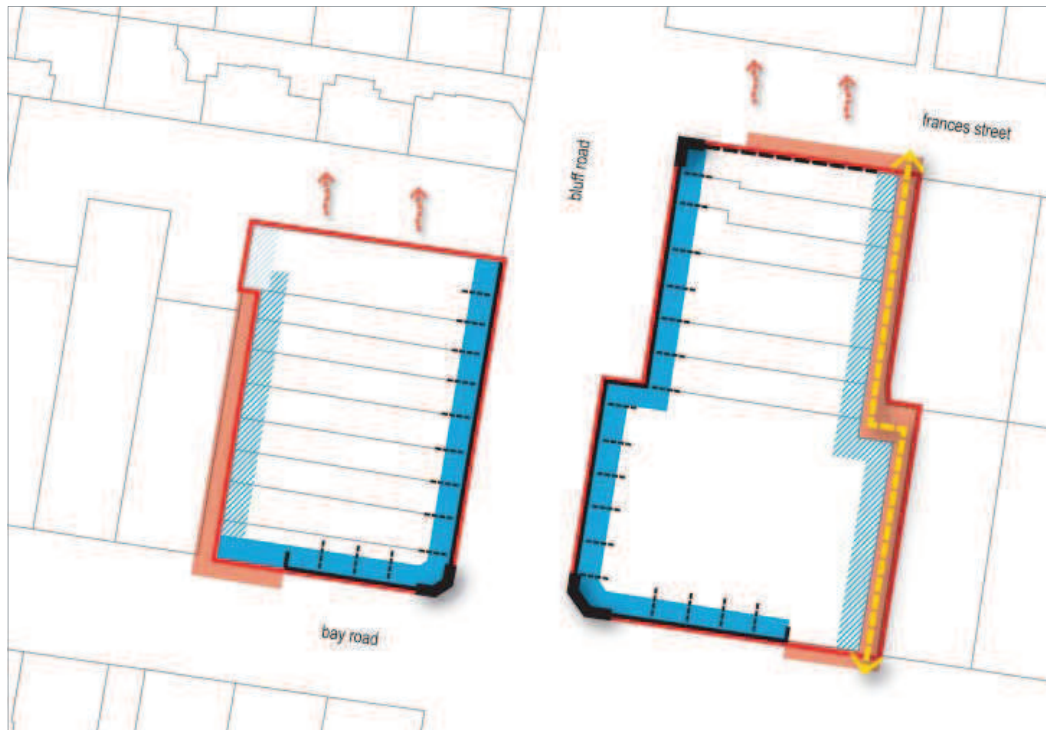
- State planning policy promotes consolidation within activity centres which are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- An irregular street wall alignment along the western side of Bluff Rd creates a disjointed pedestrian view line and redevelopment opportunities should seek to infill the setback. Furthermore the centre typically is fine grain with the exception of the large corner site on the east side of Bluff Rd. Redevelopment should reflect a fine grain character.
- Corner sites can incorporate massing and detailing to announce the corners, as key orientation marks. Capacity for change exists in rear setbacks abutting laneways and on the large corner site (petrol station). Appropriate management of residential edges should consider overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
--	--	---	---	---



legend

- study area
- 3 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect
- maintain solar access to public space
- new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
212m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

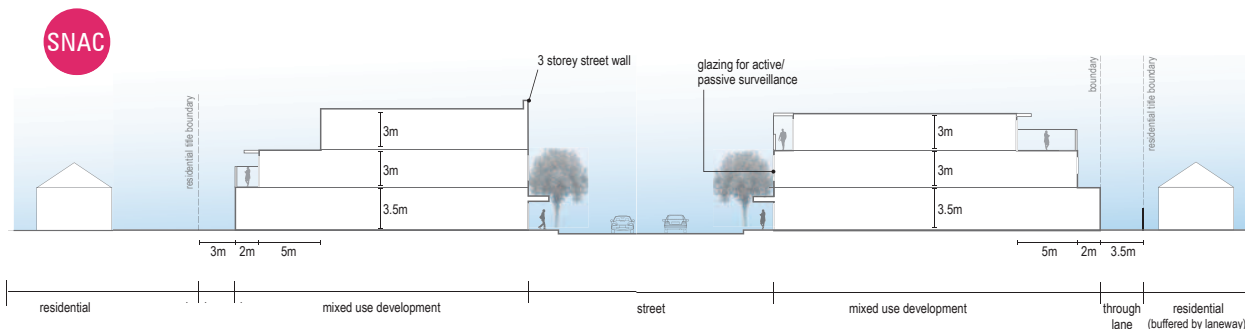
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines



7

bay road & avoca street, highett



development capacity ★★

existing conditions

typology

- LC local cluster
- DS double sided
- OS one sided

setting

- public transport oriented
- main road & junctions
- coastal context
- suburban hinterland

age/style

- victorian edwardian
- federation
- inter war
- post war
- contemporary

hierarchy

- SNAC small neighbourhood activity centre

orientation

- W E
- N S

building grain

- fine & standard

primary activities

retail and other

general building height

1 storey with high parapets

area

3,232sqm

interface treatments/features

rear laneway for car park access

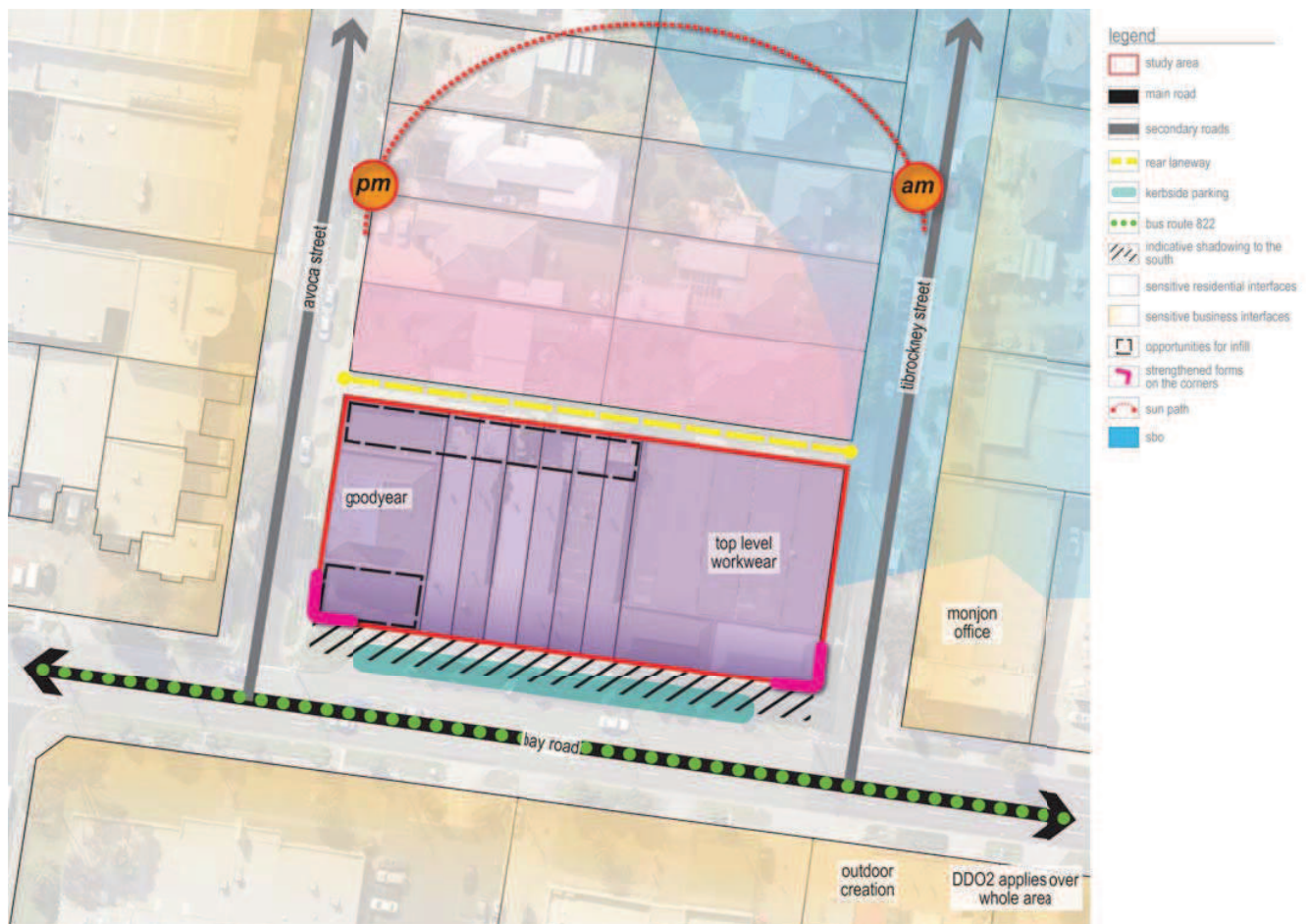
percentage of active frontage

50%

discussion

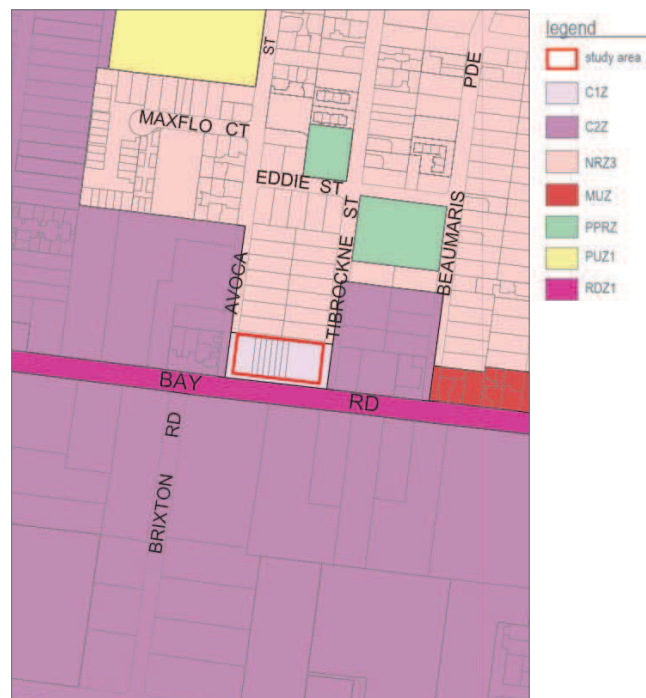
The centre comprises a strip of shopfronts and the Top Level Workwear warehouse building. Street landscaping is limited, however footpath canopies extend from the shopfronts. A laneway buffers the centre from residential to the north, however there is a northerly slope to the local landform. The Bayside Business Employment Area environs surround site to the east, west and south.

opportunities and constraints




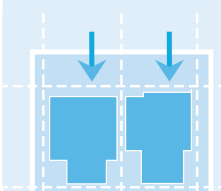

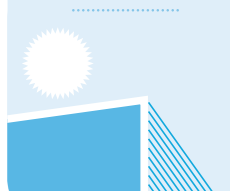
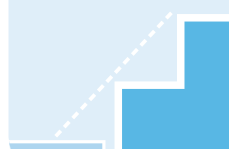
implications

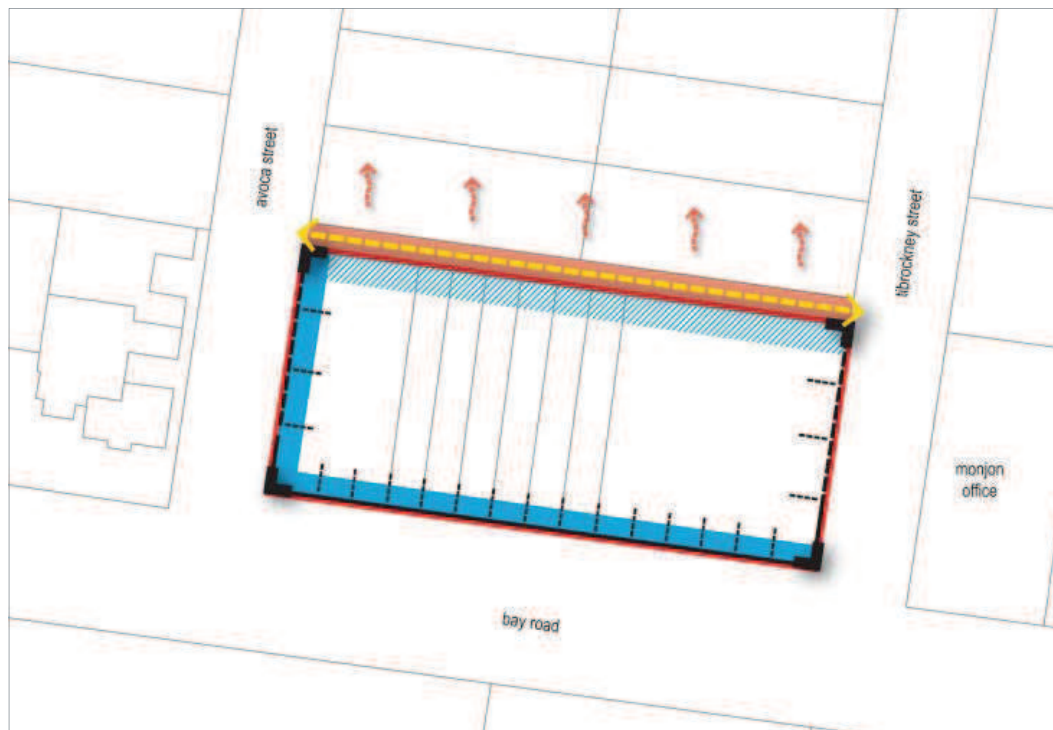
- State planning policy promotes consolidation within activity centres which are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interface.
- An irregular street wall alignment disrupts pedestrian viewlines and redevelopment should seek to re-establish a continuous street edge. Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Both of the corner sites within the centre present a much wider frontage than the rest of the centre. Redevelopment of these sites has the opportunity to create a human scale within the streetscape which reflects the finer subdivision grain. Changes in grain through consolidation can negatively affect the fine grain character of the centre.
- Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
---	---	--	--	--



legend

- study area
- 3 storey street wall
- transitional setbacks*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑↑ maximise northerly aspect
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
103m (including proposed primary active frontages as shown in plan)

proposed urban form concept plan

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

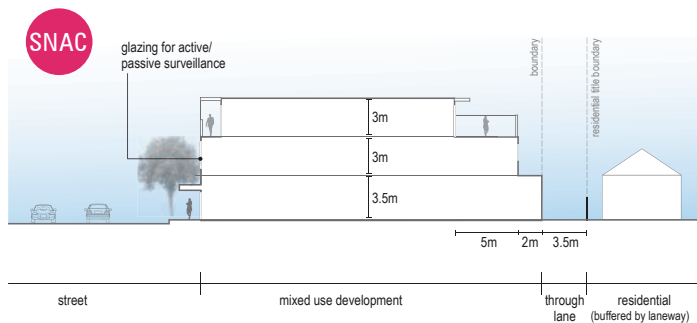
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

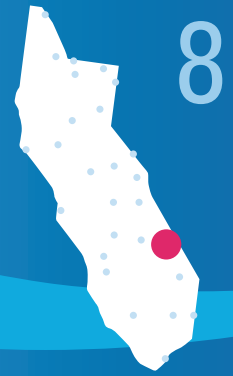
esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines



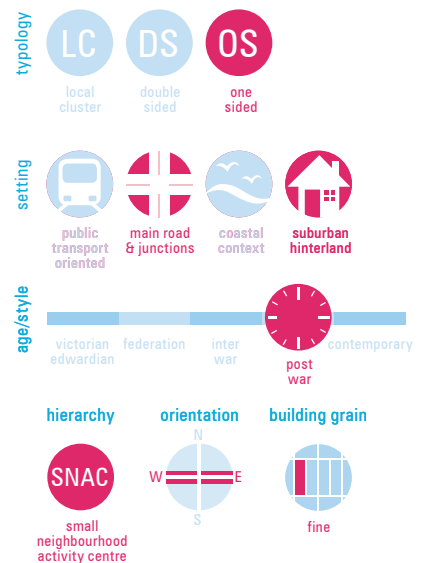
8

bay road & jack road, cheltenham



development capacity ★★

existing conditions



primary activities

retail (milk bar, hairdresser, restaurants, bottle shop, accountant etc)

general building height

1-3 storeys

area

5,824sqm

interface treatments/features

rear laneways for car park access

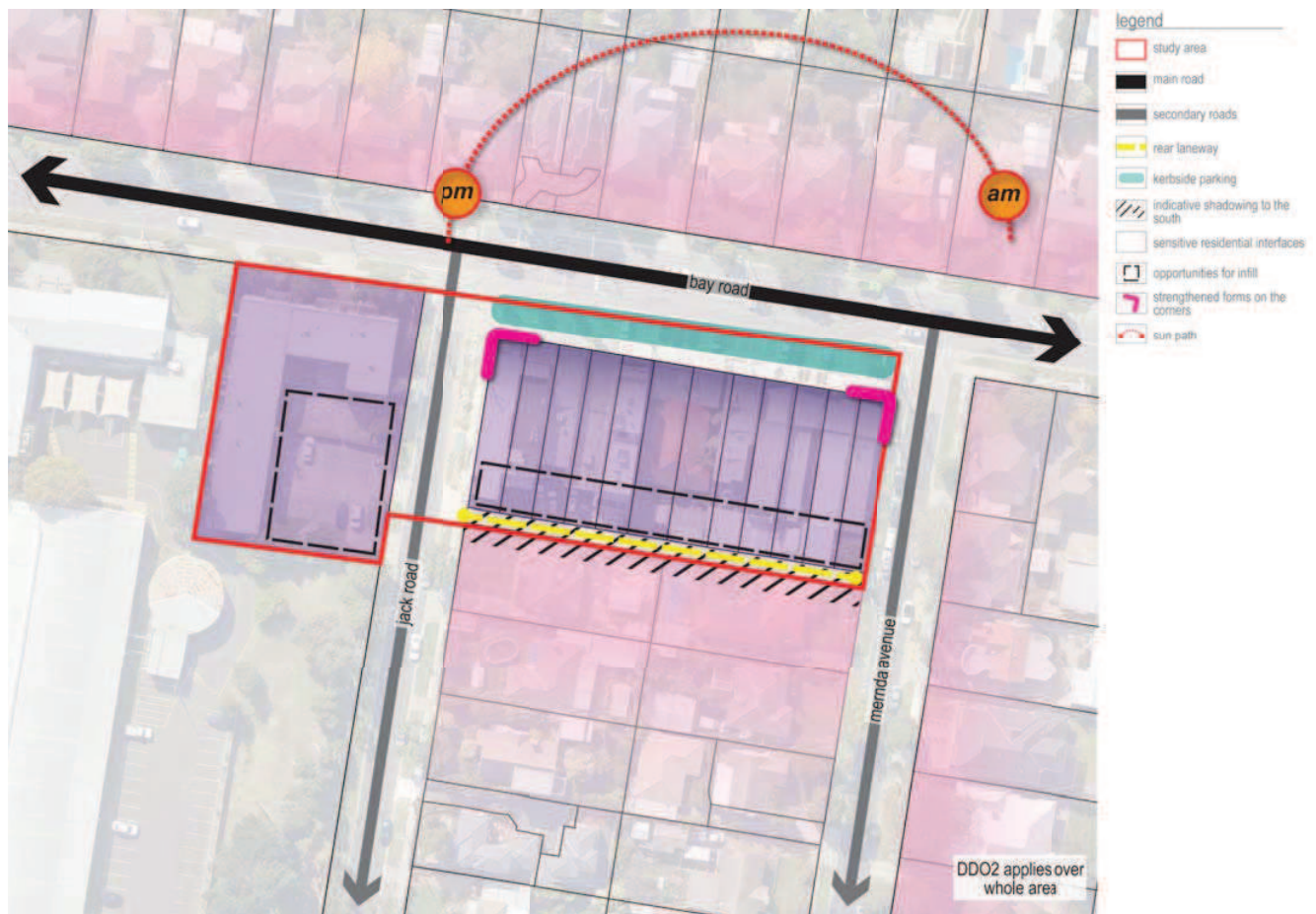
percentage of active frontage

90%

discussion

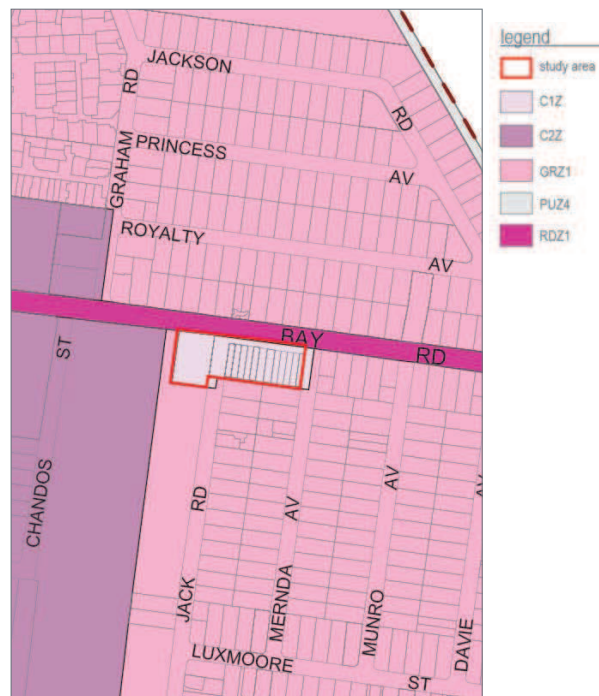
With a consistent hard edge active frontage, the buildings are fine grained and occupied by convenience retail servicing the local area. Car parking is perpendicular to the kerb at the shopfronts. A signalised crossing provides safe pedestrian access from the north. Recent redevelopment of shopfronts with two and three storey buildings demonstrate articulated building forms that step down to the southern laneway.

opportunities and constraints




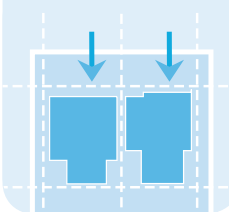
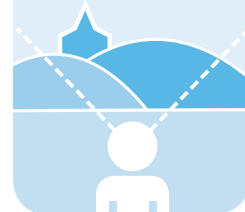

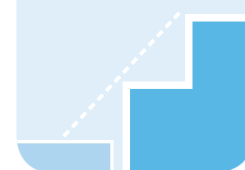
implications

- State planning policy promotes consolidation within activity centres which are well serviced by public transport and are in close proximity to open space, retail and economic opportunities. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Corner sites can incorporate massing and detailed to announce the corners, as key orientation marks.
- To the east of Jack Rd the centre presents a consistent subdivision grain. Changes in grain through consolidation can negatively affect the fine grain character of the centre.
- Several sites within the centre have been recently developed so are unlikely to be redevelopment in the near future. There is capacity for change in rear setbacks of the abutting laneway. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.
- West of Jack Road the B1Z land is developed by a 2 storey apartment building with no active retail uses.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
--	--	---	---	---



legend

- study area
- 3 storey street wall
- transitional setbacks*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑↑ maximise northerly aspect
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
 145m (including proposed primary active frontages as shown in plan)

proposed urban form concept plan

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

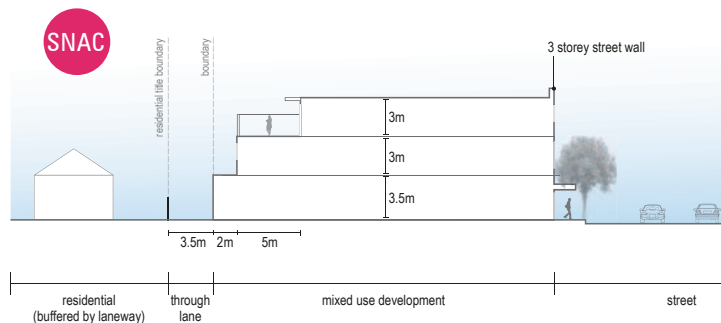
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



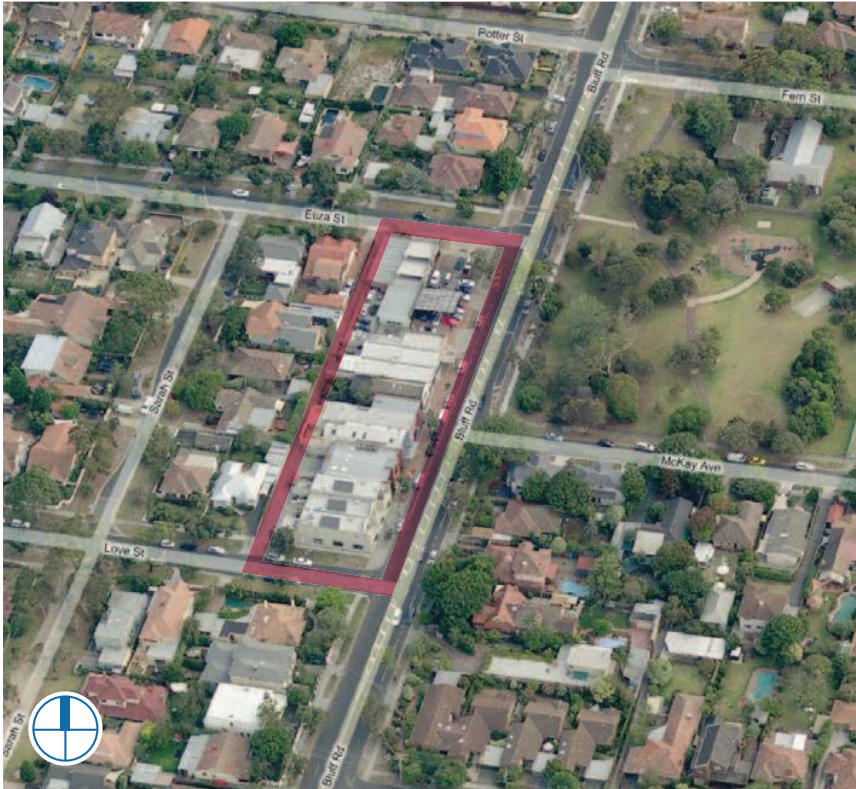
bayside small neighbourhood activity centres

urban design profiles & guidelines



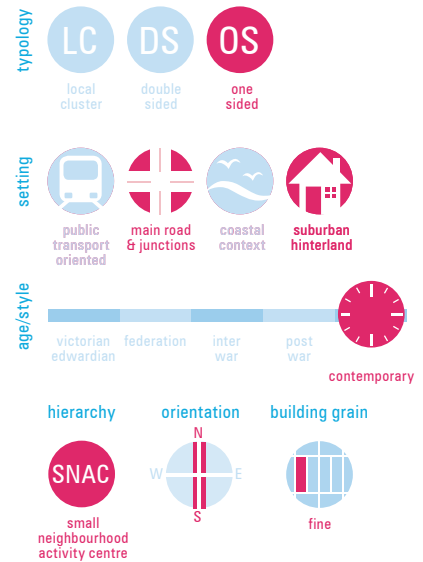
9

bluff road & love street, black rock



development capacity ★★

existing conditions



primary activities

service business

general building height

2 storeys

area

3,016sqm

interface treatments/features

rear laneways servicing to basement car park entrance to the rear

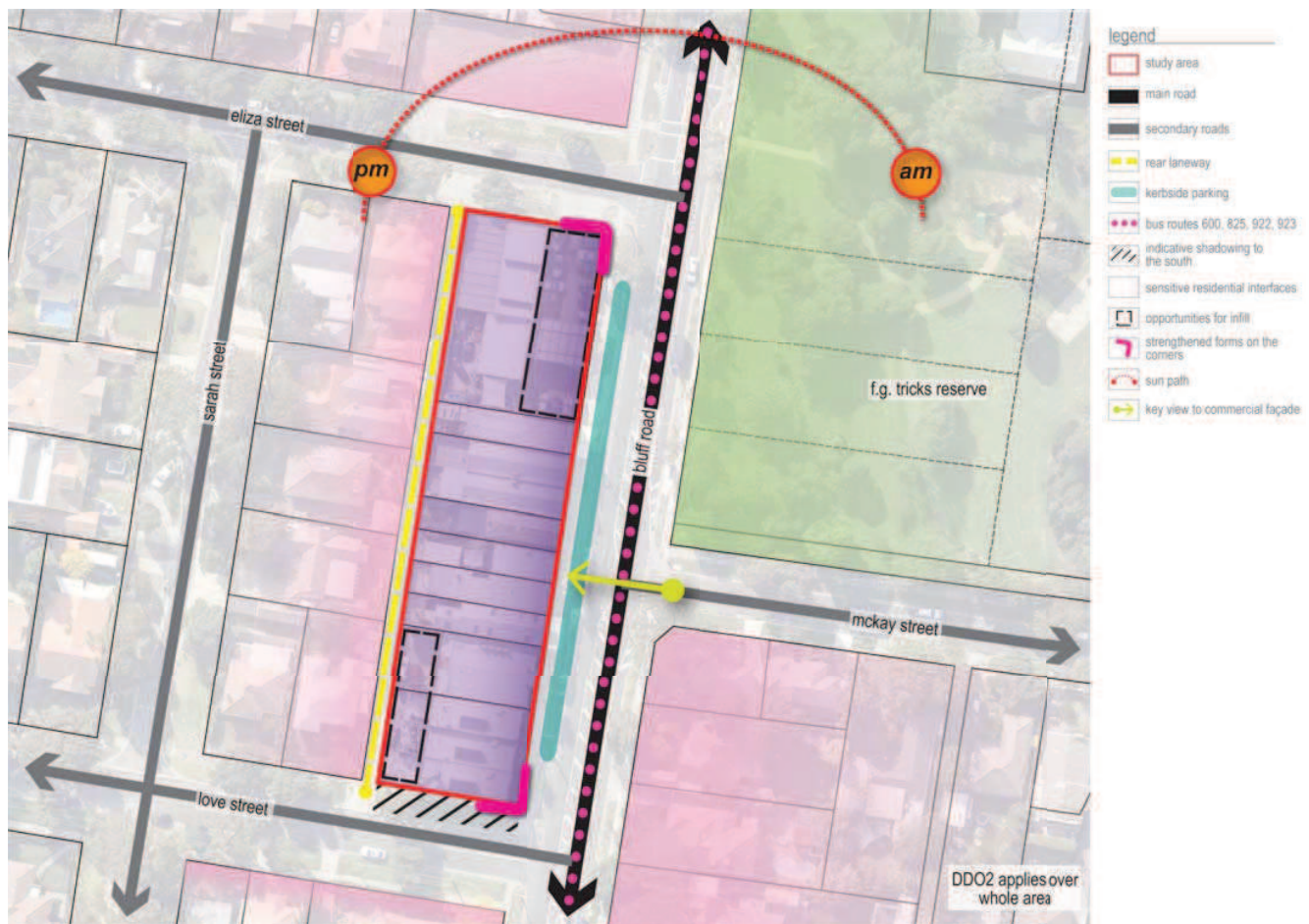
percentage of active frontage

50%

discussion

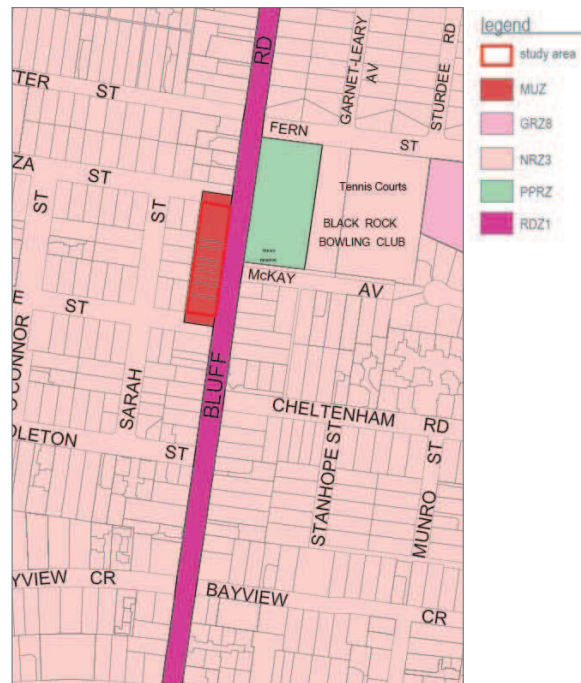
The centre is well located opposite F.G. Tricks Reserve. It has a number of new two storey terraced shop buildings and inconsistent provision of footpath canopies. A laneway provides access to the rear of lots, whilst parallel kerbside parking lines Bluff Road. A car service/workshops on the corner lot of Eliza Street and Bluff Road occupies an old petrol station site and is an anomaly in built form terms with the remainder of the centre.

opportunities and constraints




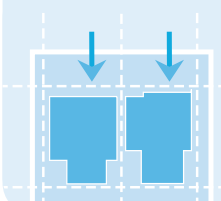

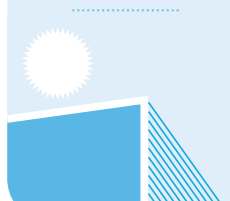
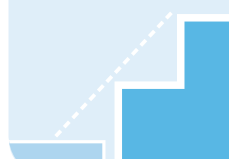
implications

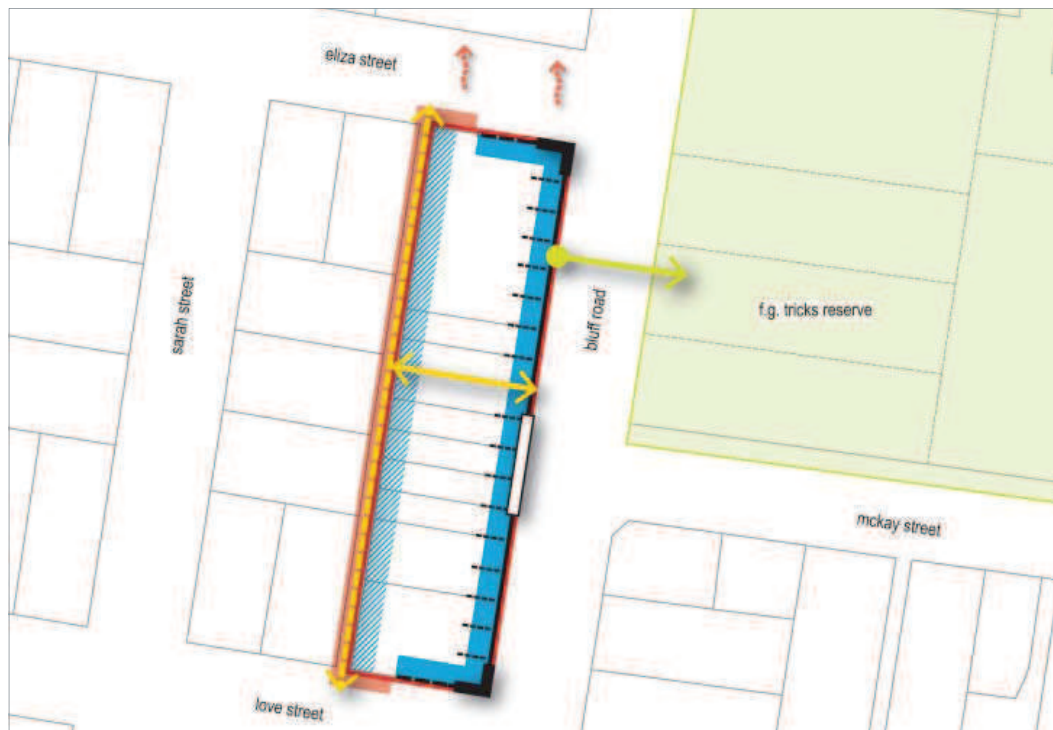
- State planning policy promotes consolidation within activity centres which are well serviced by public transport and open space. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces. Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- An irregular street edge treatment creates a disjointed pedestrian view line and should be redeveloped to present a continuous street edge. There is an inconsistent subdivision grain within the centre with opportunity to create a human scale through redevelopment which reflects the finer subdivision grain.
- Several sites within the centre have been recently developed so are unlikely to be redeveloped substantially in the near future. There is a key redevelopment opportunity on the Eliza Street / Bluff Road corner, which has generous street setbacks, which has the added advantage of parkland outlooks.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
---	---	--	--	--



legend

- study area
- 3 storey street wall
- transitional setbacks*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect
- maximise outlook
- pedestrian thoroughfare
- new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
125m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

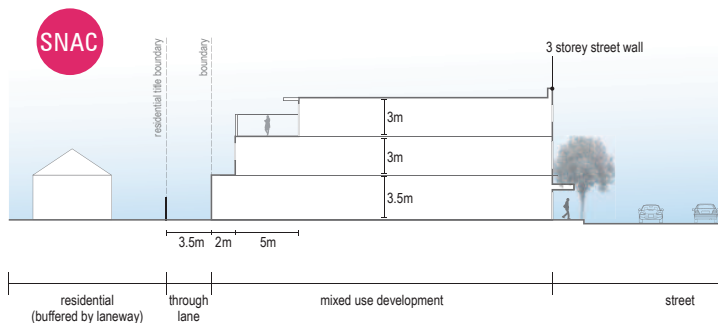
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines

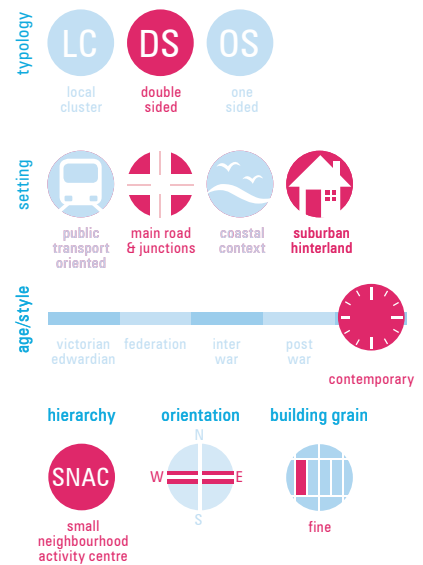


seaview shopping centre, beaumaris



development capacity ★

existing conditions



primary activities

retail (restaurants, bakery, post office)

general building height

1-2 storeys and high parapets

area

6,717sqm

interface treatments/features

rear laneways for car park access and service to retail uses

percentage of active frontage

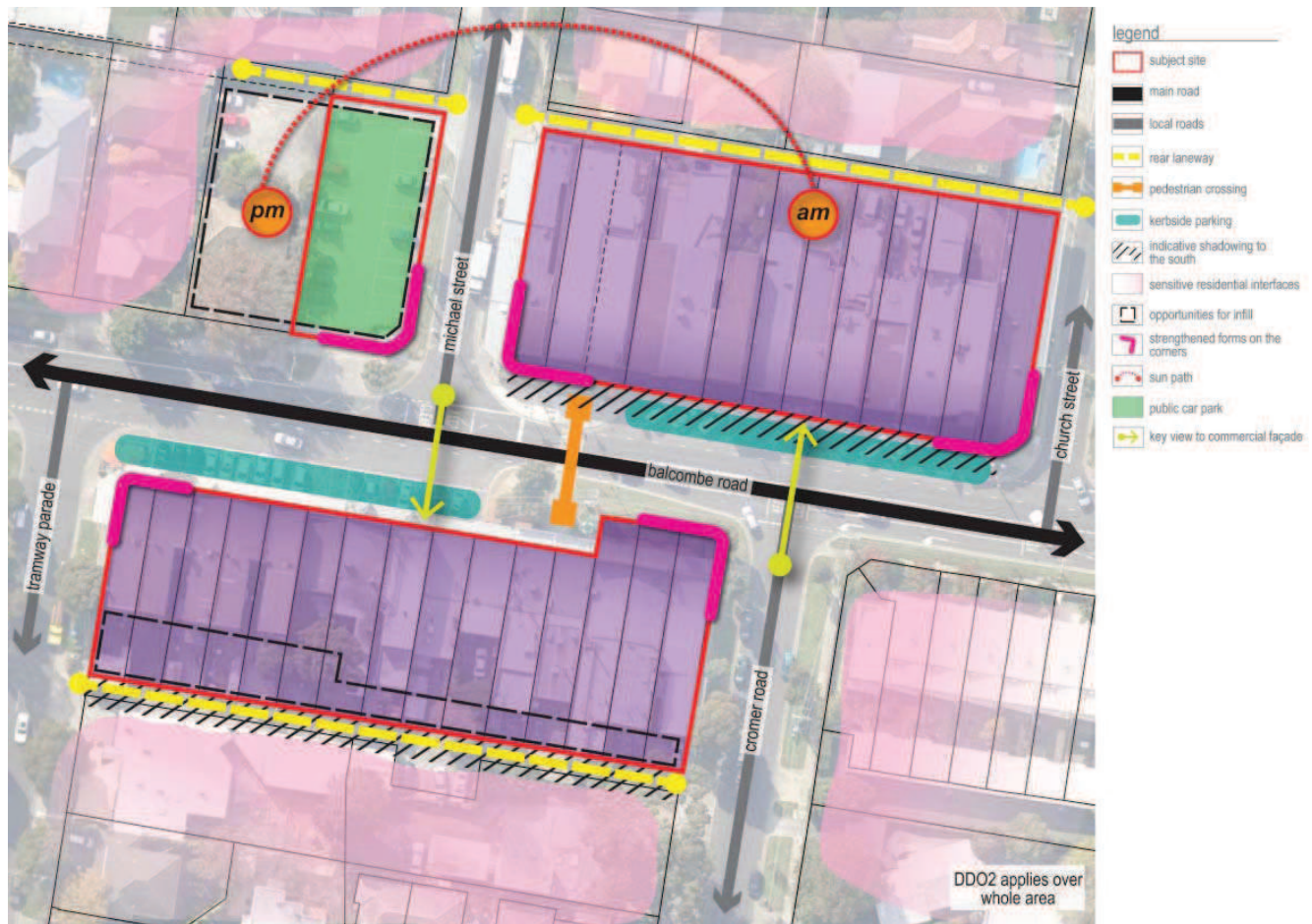
85%

discussion

Seaview centre is a vibrant convenience centre strip of narrow shopfronts with continuous footpath canopy and limited street tree planting. Angled and parallel car parking with a dedicated off street car park servicing the centre.

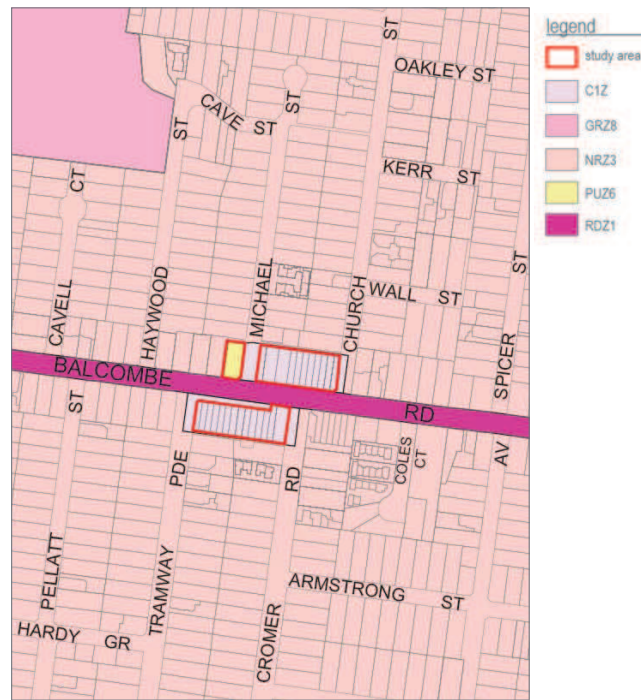
Prominent two storey forms to the south side of the street accommodate activities such as shop top offices and dwellings. Low scale and dispersed housing sits within a garden setting in the surrounds.

opportunities and constraints




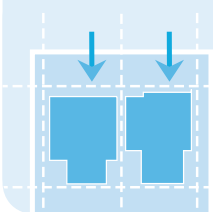
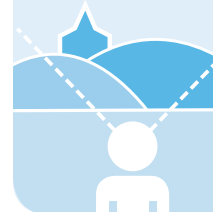


implications

- State planning policy promotes consolidation within activity centres. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Sites within the centre present a consistent subdivision grain. Changes in grain through consolidation can negatively affect the fine grain character of this centre.
- There is capacity for change in rear setbacks abutting laneways. Although the laneway does provide some buffer, appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
--	--	---	---	---



legend

- study area
- 2 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑ maximise northerly aspect
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage

227m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

