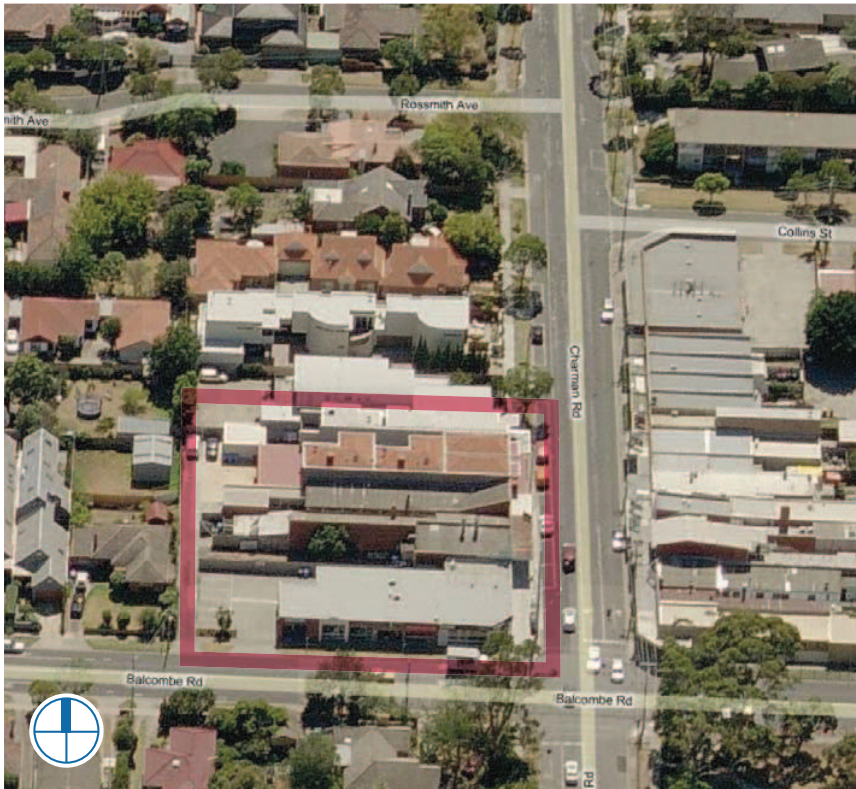


bayside small neighbourhood activity centres

urban design profiles & guidelines

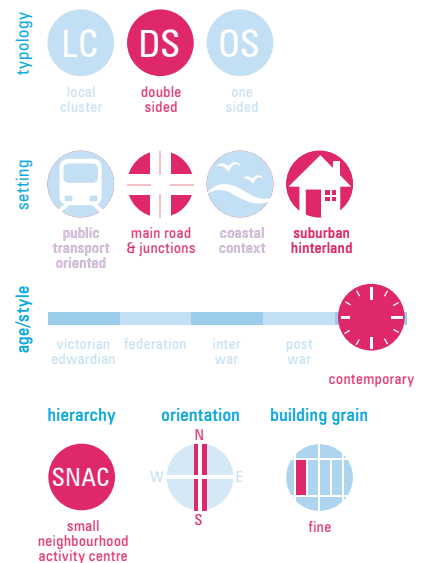


balcombe road & charman road, beaumaris



development capacity ★★

existing conditions



primary activities

retail

general building height

1-2 storey (mostly 2)

area

2,256sqm

interface treatments/features

rear laneways for car park access

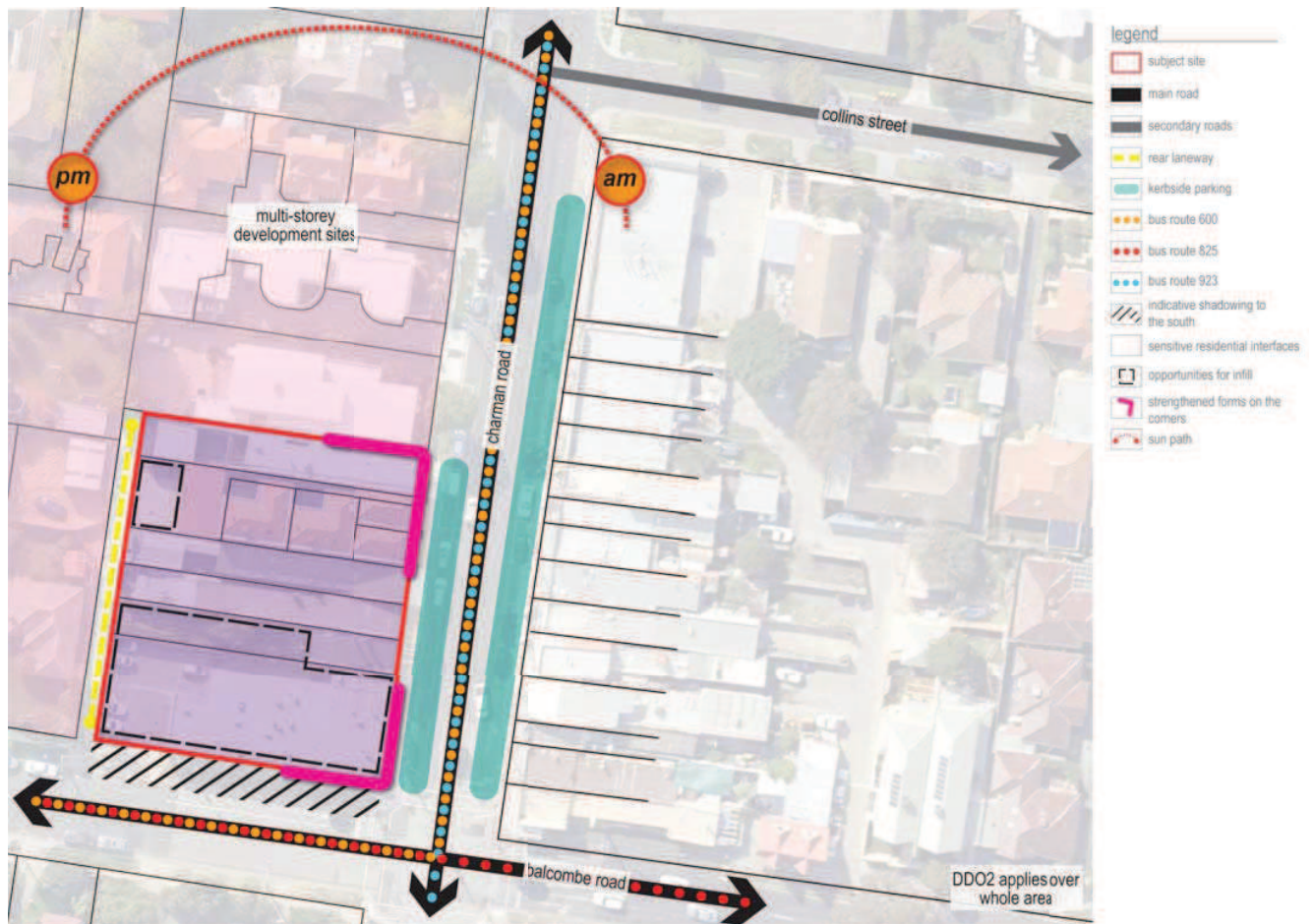
percentage of active frontage

100%

discussion

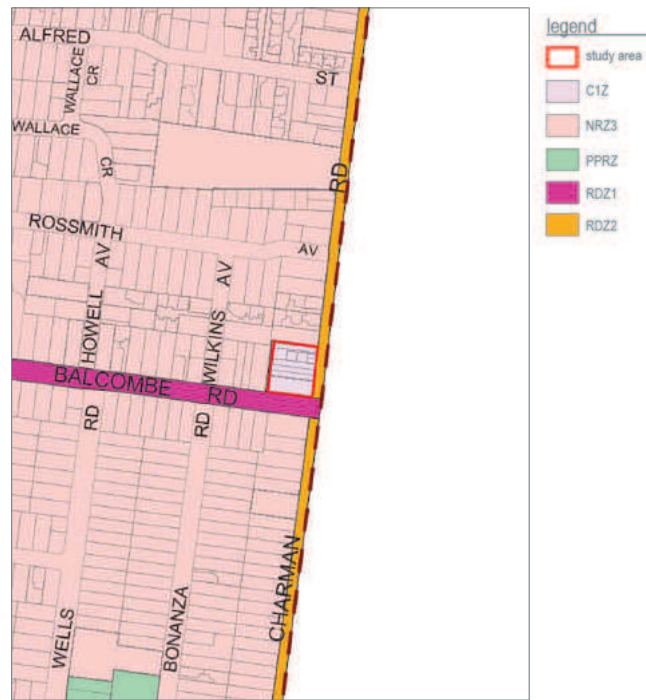
This centre straddles Bayside/Kingston municipal boundaries. A notable presence of two storey forms including shop top housing line the west side of the centre (in Bayside municipality). The precinct is situated between Seaview (1km west) and Mentone MAC (1.5km east). Diagonally opposite is Mentone Girls Secondary School. The strip has parallel parking along both sides of Charman Road. Street planting is constrained by the continuous footpath canopy. A 2 storey dental centre built to boundary abuts the northern edge of the B1Z land.

opportunities and constraints




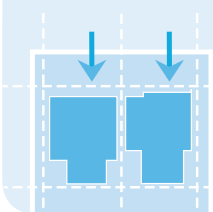
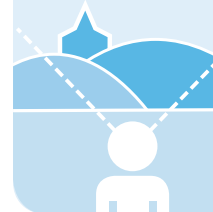


implications

- State planning policy promotes consolidation within activity centres which are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks. The site at the corner of Balcombe and Charman Roads presents a much wider street frontage. Redevelopment should reflect finer grain and human scale streetscape form.
- Redevelopment opportunities are likely to require multiple narrow lots. There is some capacity for consolidation in rear setbacks abutting the laneway. Although the laneway will provide a buffer, appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects. Any consolidation should also retain fine grain treatments.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 3 storey street wall
- transitional setbacks*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- provide passive surveillance
- maximise northerly aspect
- new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
 93m (including proposed primary active frontages as shown in plan)

proposed urban form concept plan

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland or open space should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

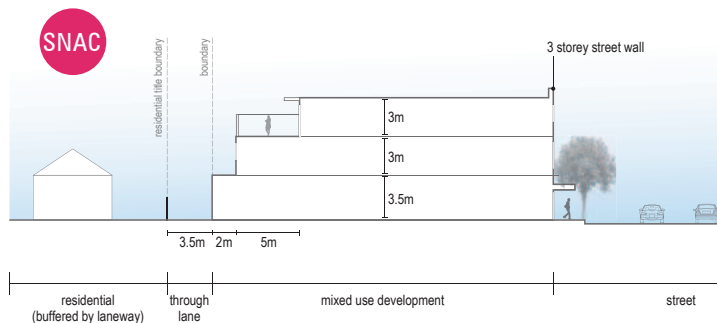
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines

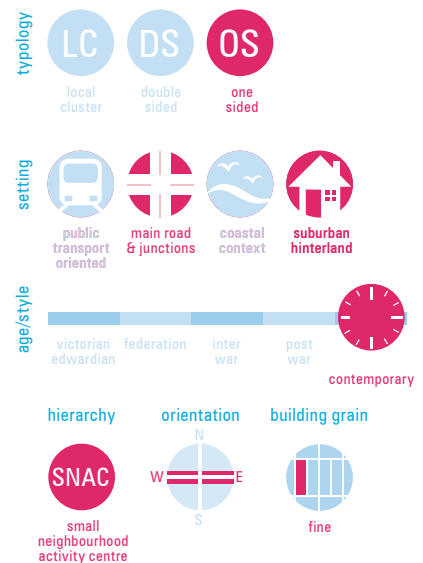


balcombe park, beaumaris



development capacity ★

existing conditions



primary activities

mix of retail and housing on top

general building height

1-2 storeys

area

2,680sqm

interface treatments/features

rear laneways for car park access

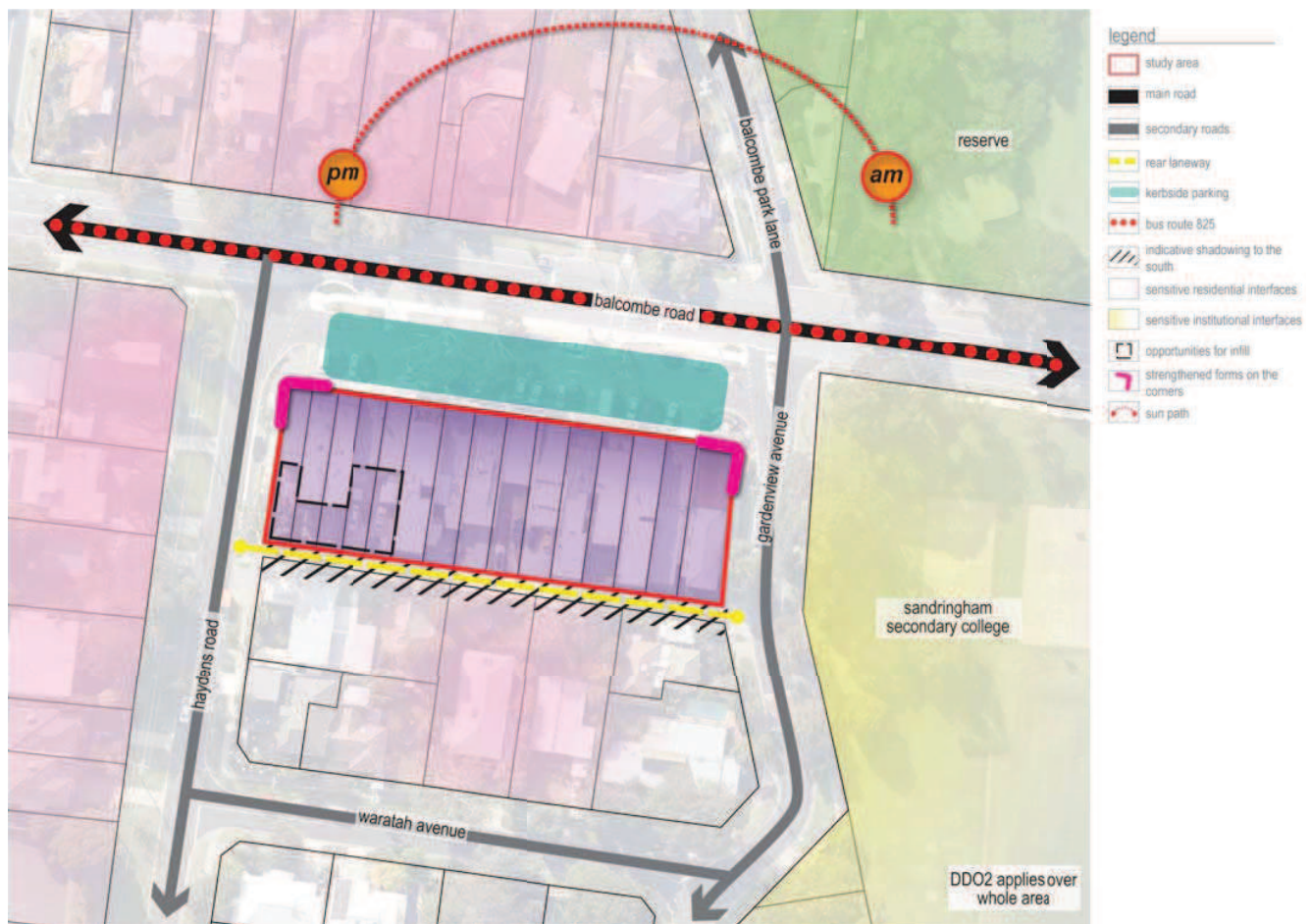
percentage of active frontage

80%

discussion

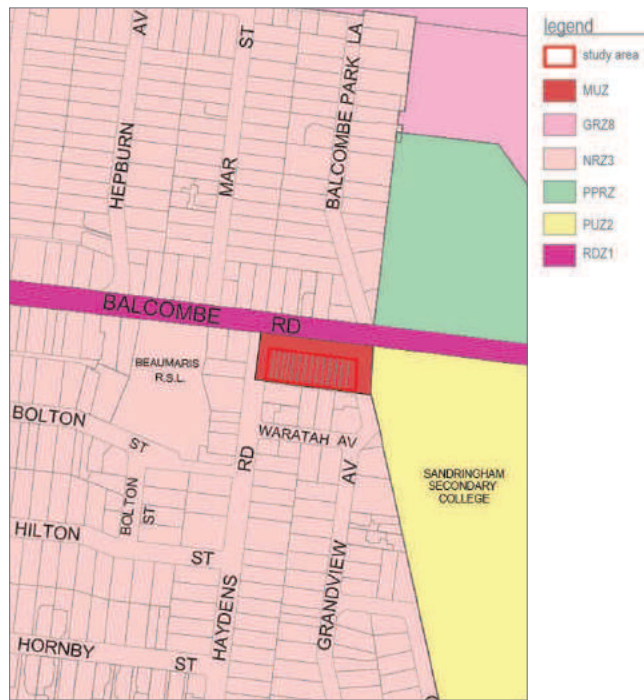
The local topography has an easterly fall with buildings 'stepping' down along the street edge. Recent shop top forms include some two storeys in an otherwise single storey streetscape. The shops are recessed from the main road alignment with a cell of car parking featuring perpendicular and parallel forms to a service road accessed from Haydens Road and Grandview Ave. Consistent footpath canopies and a finegrain built form provide for an 'intimate' street environment. Large native canopy trees are a notable feature of this centre.

opportunities and constraints




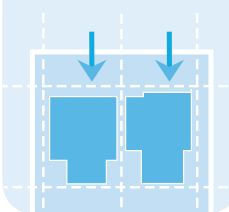
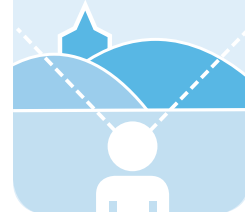

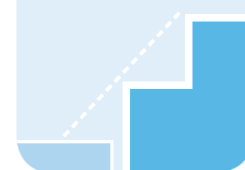
implications

- State planning policy promotes consolidation within activity centres which are well serviced by public transport and open space. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Sites within the centre present a consistent subdivision grain. Consolidation of lots should retain the fine grain streetscape character.
- There is capacity for change in rear setbacks within the centre for lots abutting the study area to the south. Thus, appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 2 storey street wall
- transitional setbacks*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑ maximise northerly aspect
- maximise outlook
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
103m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

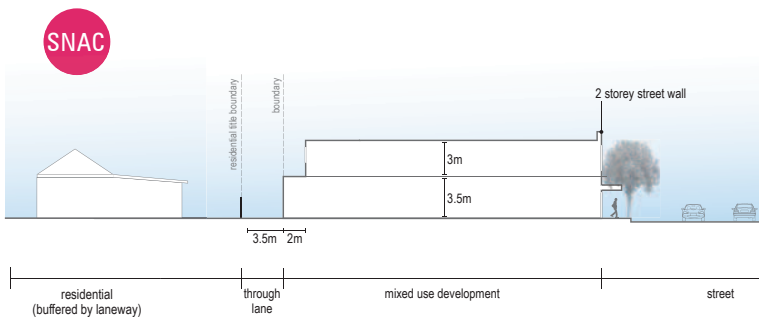
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



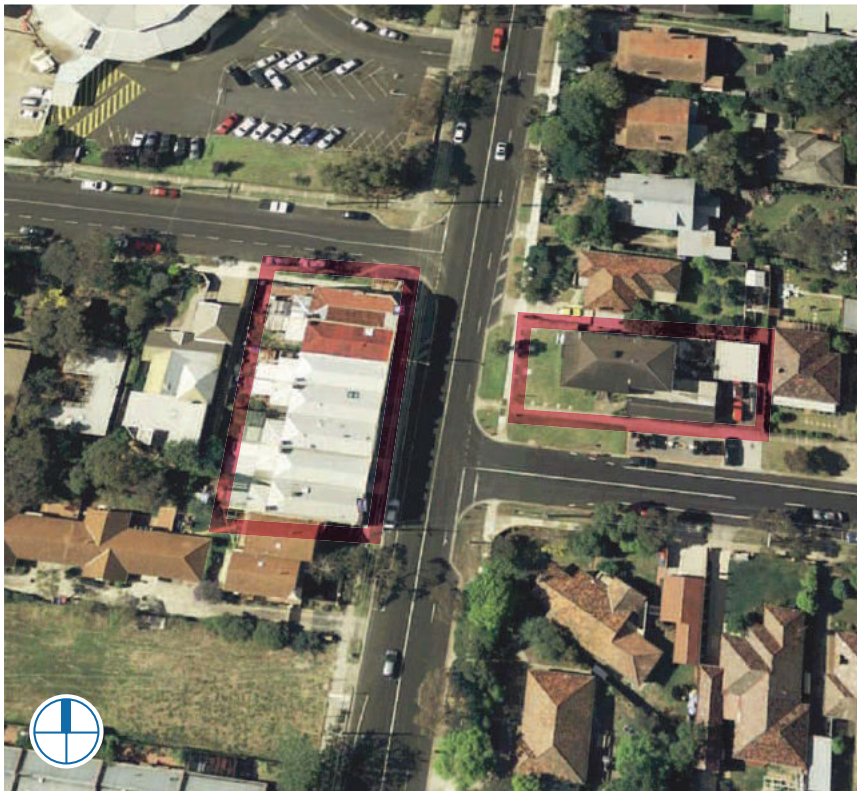
bayside small neighbourhood activity centres

urban design profiles & guidelines



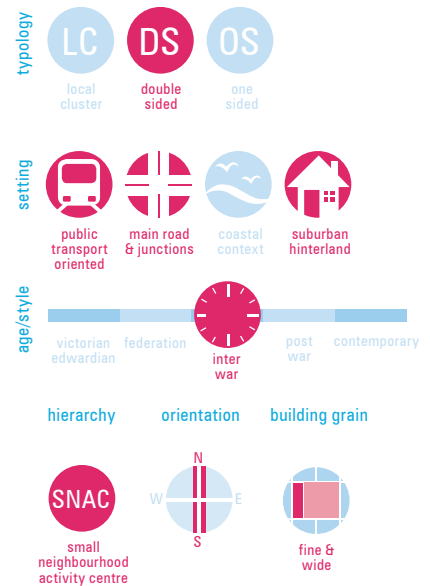
13

bluff road & edward street, sandringham



development capacity ★★

existing conditions



primary activities

mix of retail (restaurants, cafe's, milk bar etc), service business (offices, chiropractor, solicitor etc) and residential.

general building height

2 storeys

area

1,674 sqm

interface treatments/features

no side or rear laneways

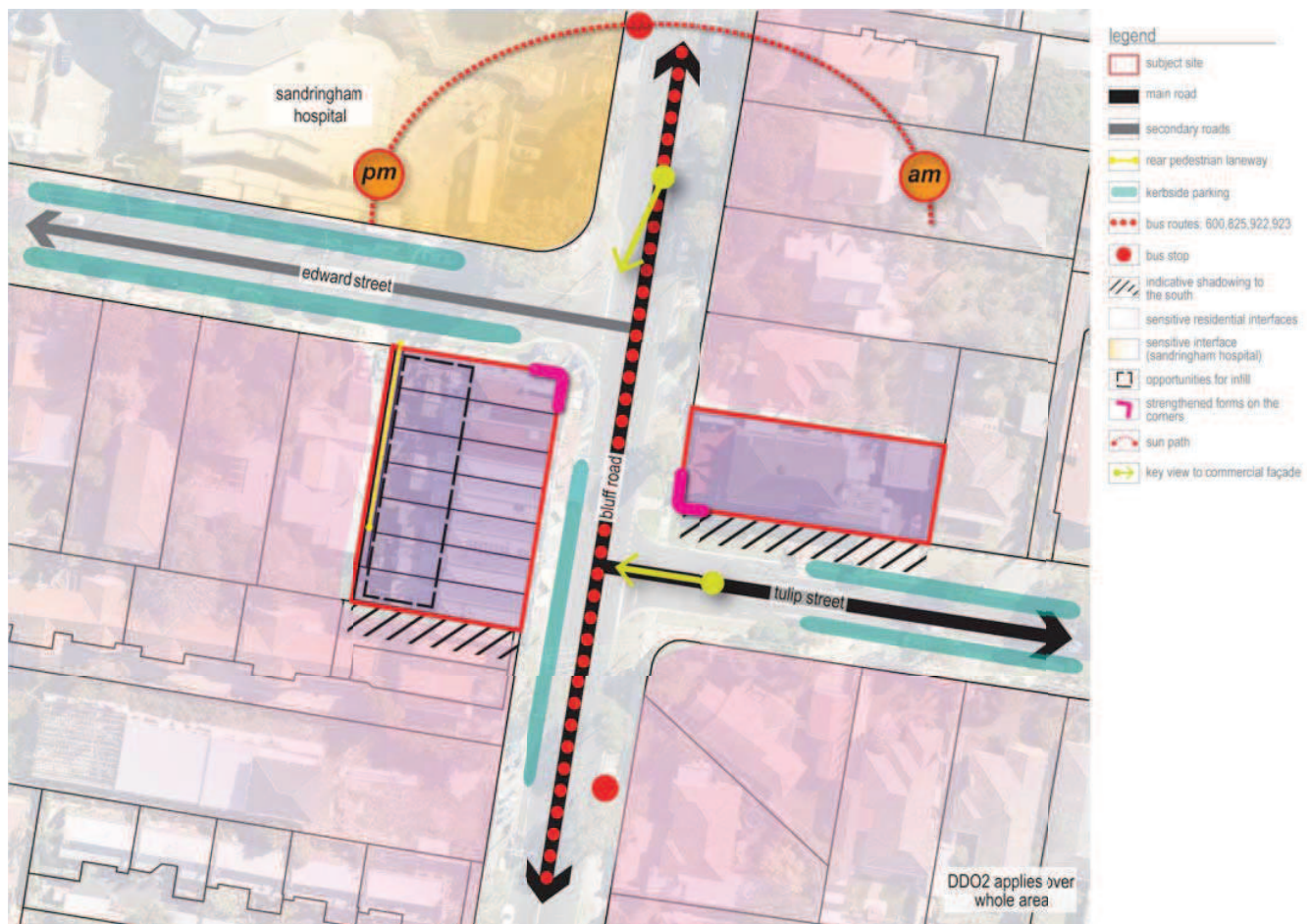
percentage of active frontage

90%

discussion

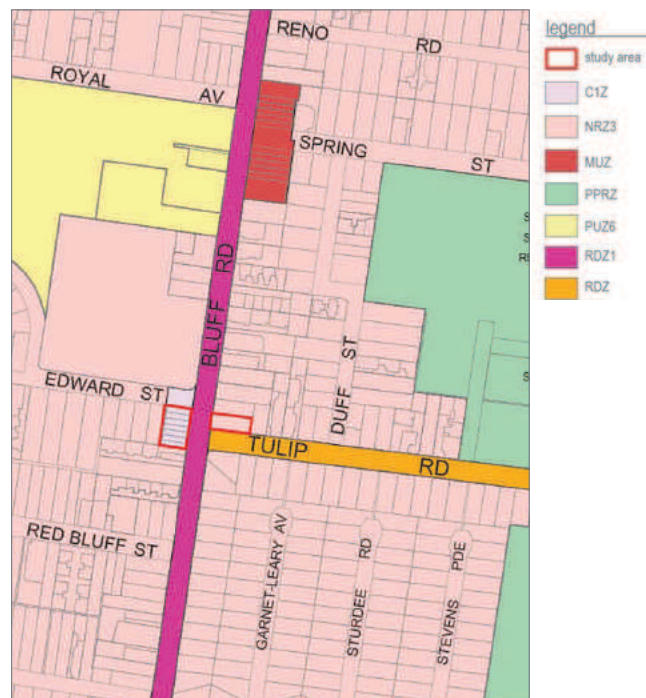
The centre contains fine grain retail, service businesses and residential uses to the west of Bluff Road, with a hard active frontage to the street. To the east of Bluff Road is a wide single lot with generous setbacks to the street. The centre benefits from its close proximity to Sandringham Hospital to the north. 1-2 storey residential hinterland surrounds the site including some medium density housing. Small neighbourhood mixed use centres exist to the north and south of this centre along Bluff Road.

opportunities and constraints




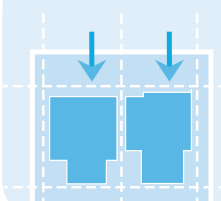

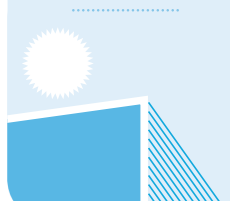
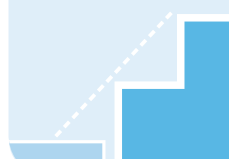
implications

- State planning policy promotes consolidation with any activity centre that is well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 applies to the land, which seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- There are no rear laneways in the centre.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Sites within the centre present a consistent subdivision grain to the west, with a larger lot to the east. Consolidation of lots should retain the fine grain streetscape character to the west.
- There is capacity for change in rear setbacks on the west side and consolidation of larger lot to the east. Appropriate management of the residential interfaces is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 3 storey street wall
- 2 storey street wall
- front setback consistent with abutting residential building
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
76m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m) on the west side of Bluff Road and 2 storeys (up to 9m) on the east side.

street wall

Buildings on the west side of Bluff Road should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level. Redevelopment of the single lot to the east of Bluff Road should retain existing residential setbacks.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions to the west side of Bluff Road.

Redevelopment of the single lot to the east of Bluff Road should respect the surrounding residential context.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

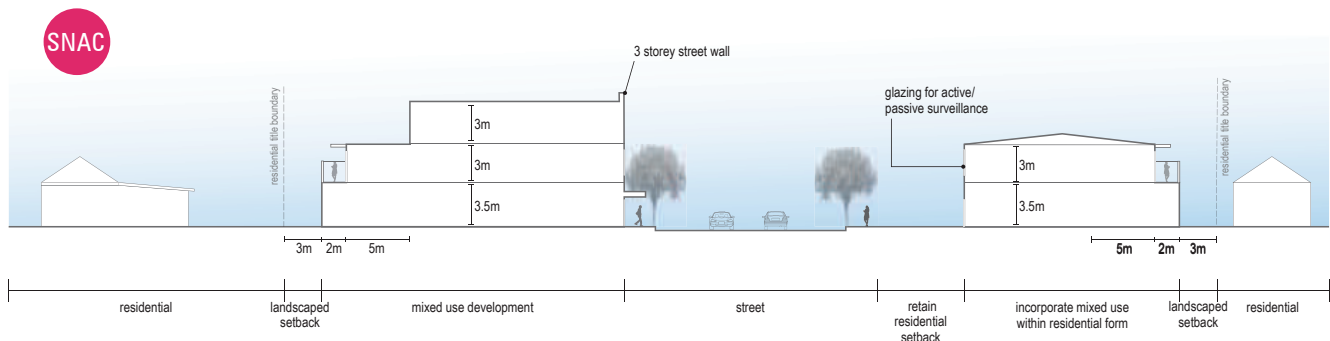
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

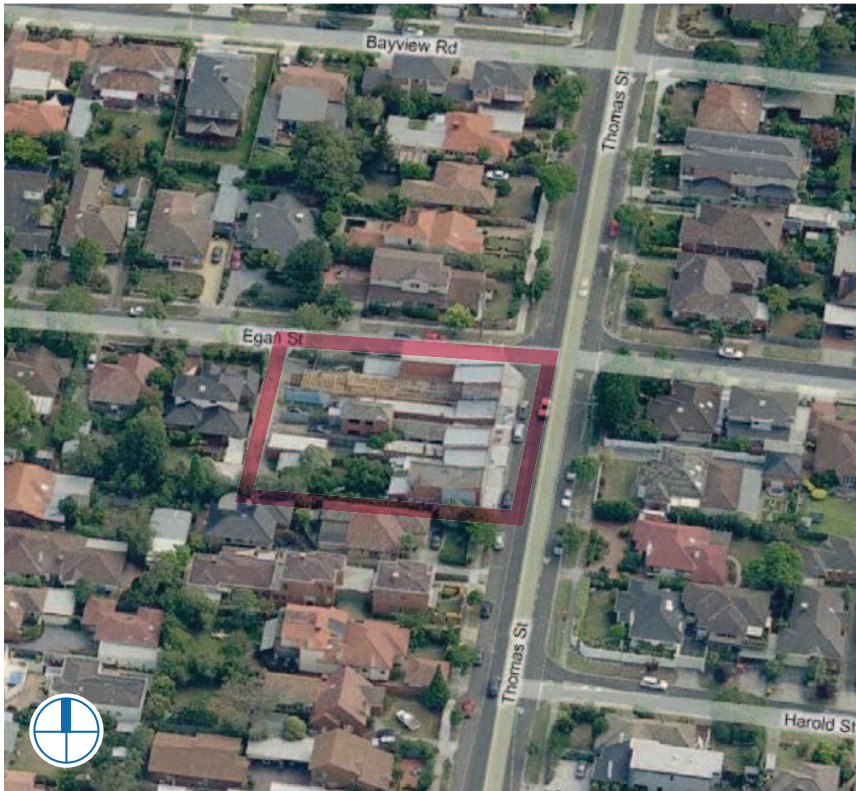


bayside small neighbourhood activity centres

urban design profiles & guidelines

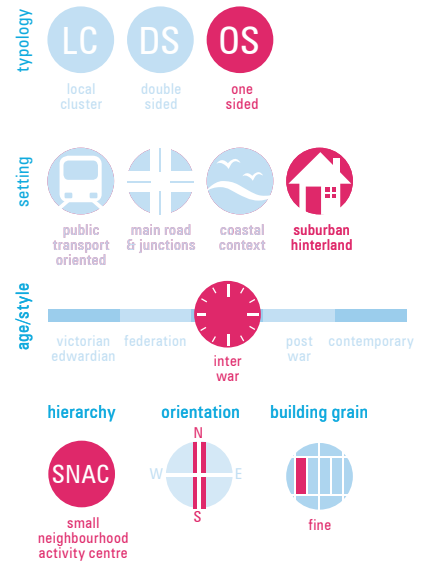


thomas street & egan street, brighton east



development capacity ★

existing conditions



primary activities

retail (milk bar, hairdresser, pharmacy etc)

general building height

2-3 storeys

area

1,732sqm

interface treatments/features

rear laneways for car park access

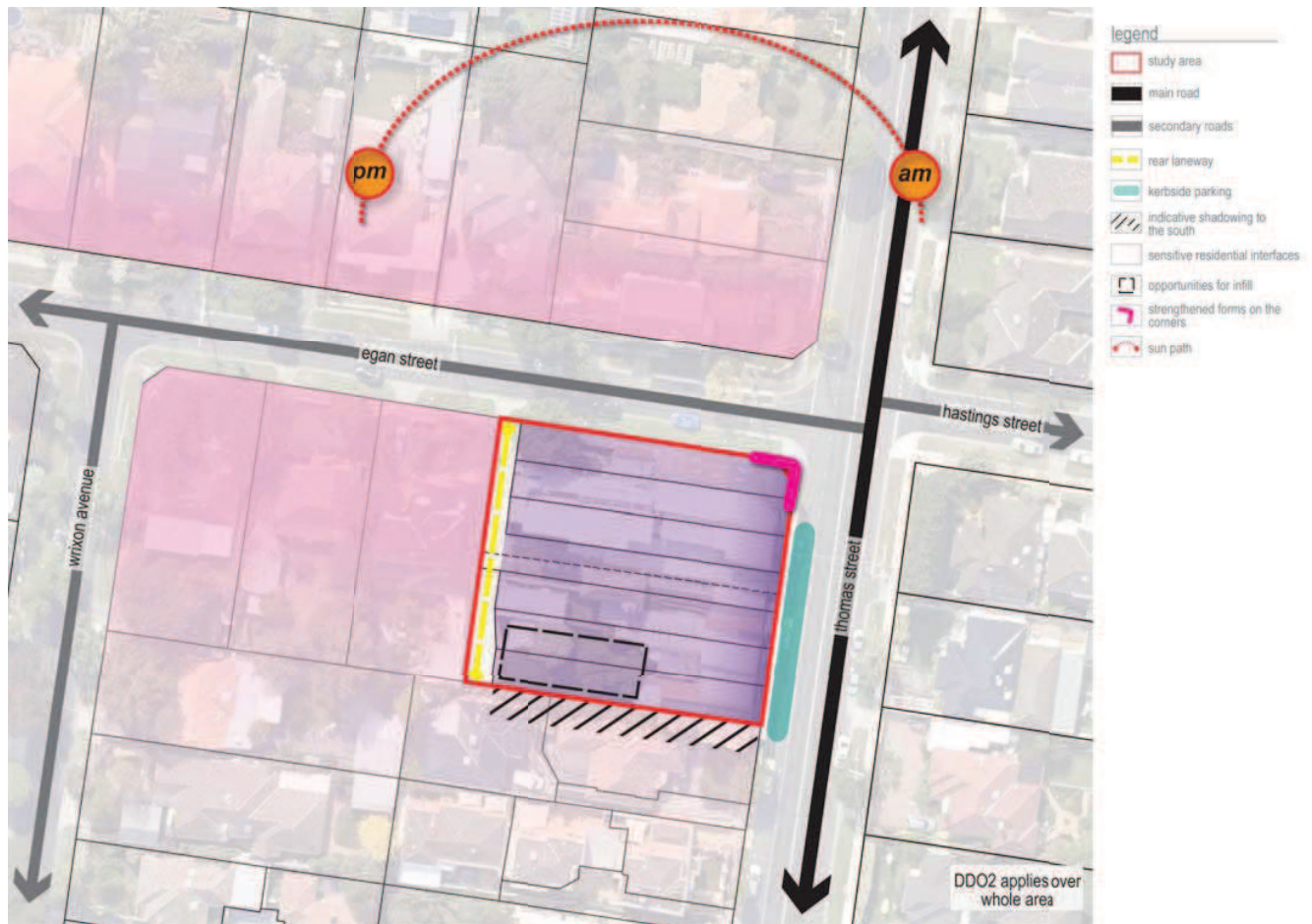
percentage of active frontage

90%

discussion

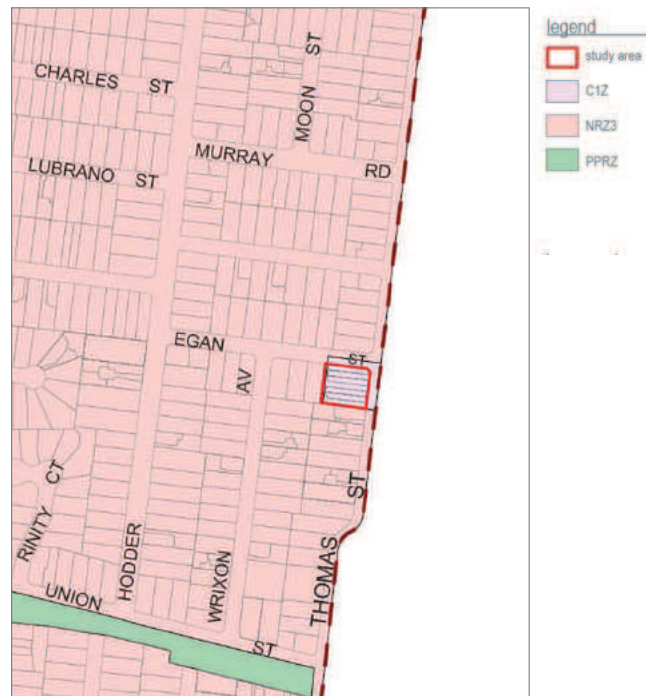
The robust one and two storey forms with shopfronts to the street edge define this small retail strip. Rear extensions in the strip include a three storey form. The surrounding residential area is low scale at up to two storeys. Parallel parking is available along Thomas Street whilst rear laneway access enables rear car parking. The topography falls gently in a southwesterly direction. There are limited street trees in the retail strip due to weather protection canopies.

opportunities and constraints




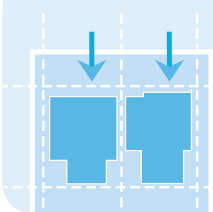
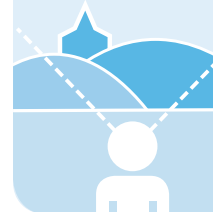


implications

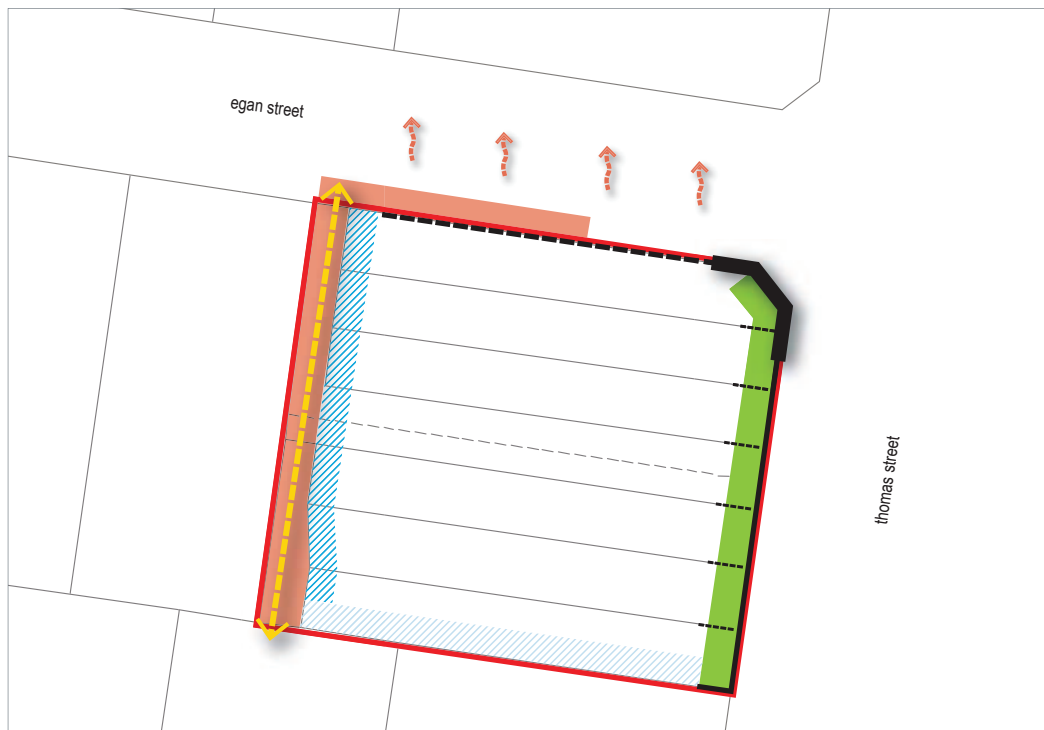
- State planning policy promotes consolidation within activity centres. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Sites within the centre present a consistent subdivision grain. Changes in grain through consolidation can negatively affect the fine grain character of this centre.
- Development within the centre is limited and is unlikely to be redeveloped in the near future. There is capacity for change in rear setbacks abutting the laneway. Although the laneway will provide a buffer to the east, appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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proposed urban form concept plan

legend

- study area
- 2 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑↑ maximise northerly aspect
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
 46m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

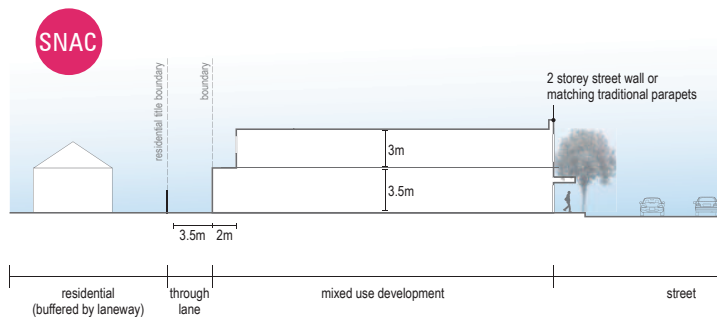
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines

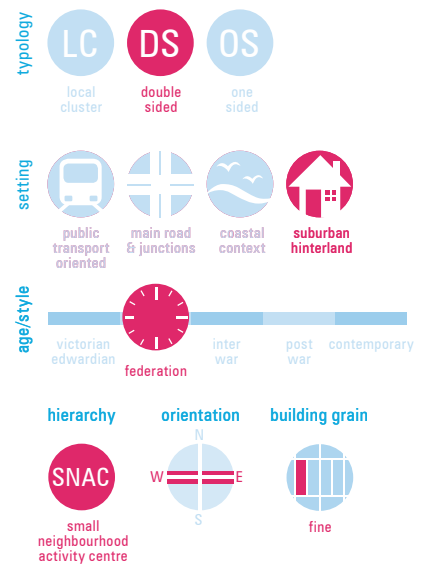


brighton beach were street, brighton



development capacity ★

existing conditions



primary activities

retail (mostly convenience)

general building height

1-2 storey with high parapets

area

3,356sqm

interface treatments/features

rear laneways for car park access

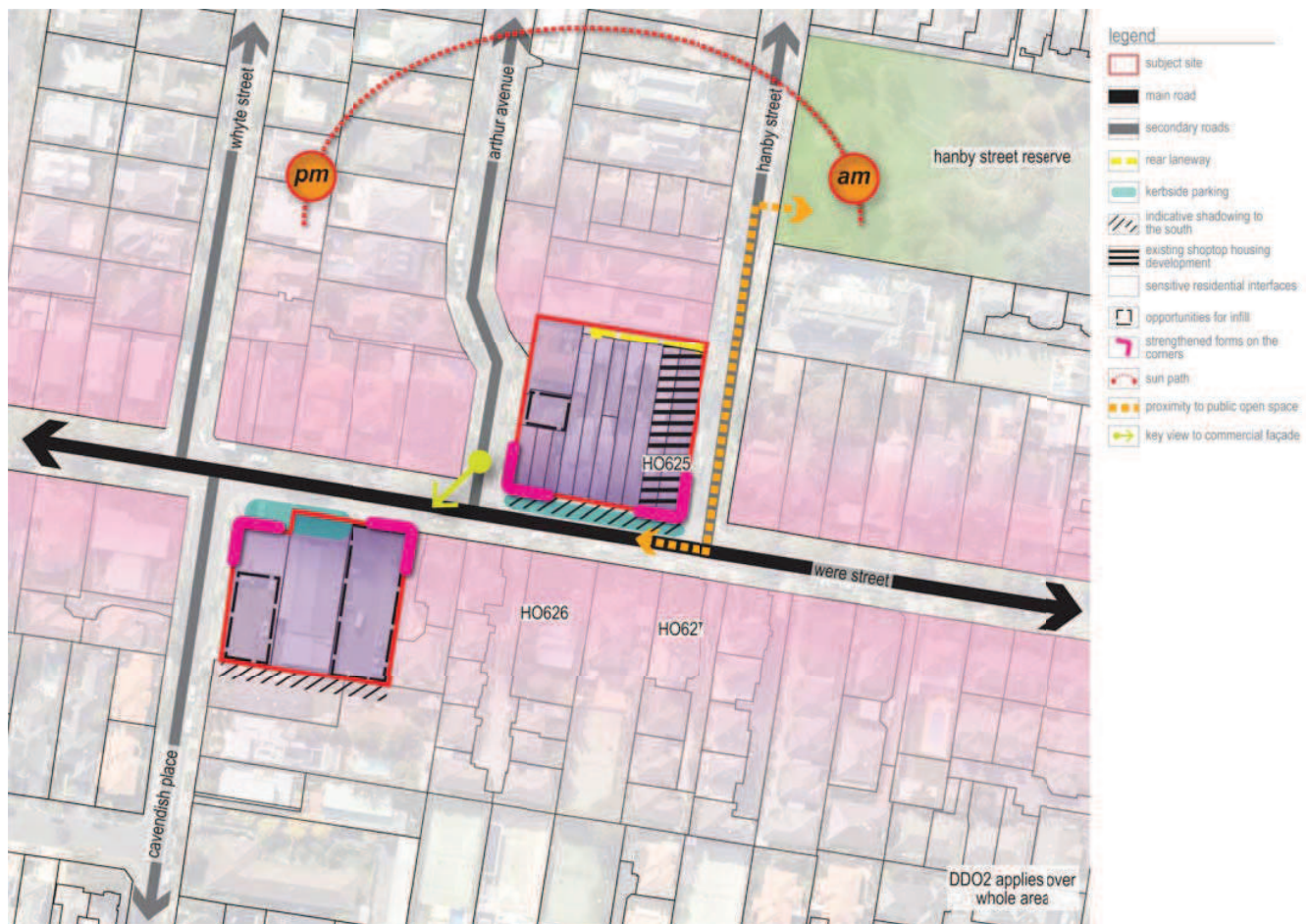
percentage of active frontage

90%

discussion

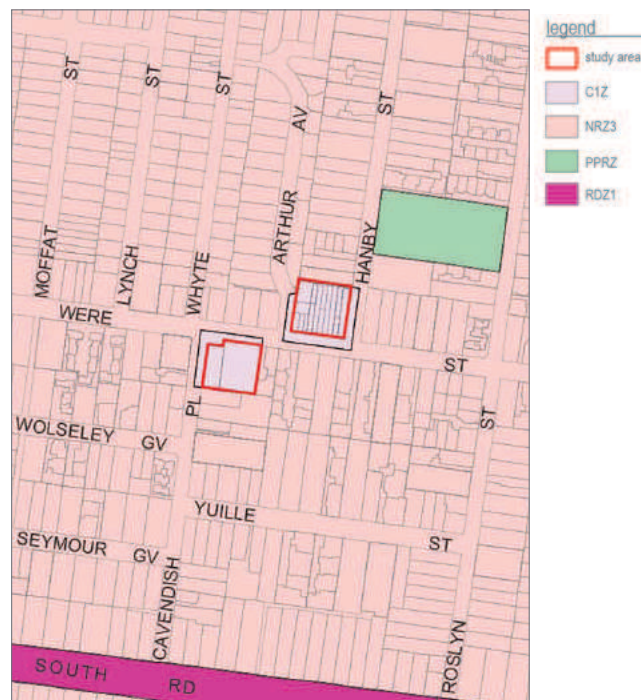
Were Street centre is physically fragmented with housing clusters separating the two key retail clusters. The Federation building stock and canopy street trees provide a consistent image and identity for the centre. Street trees within the retail strips are typically compact and low in height sitting below the continuous canopy overhanging the footpath. Parallel kerbside car parking lines Were Street with a surface car park adjoining the IGA, noting there is also some outdoor dining activity.

opportunities and constraints




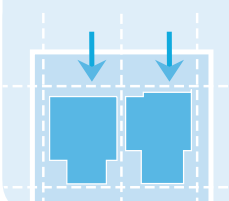

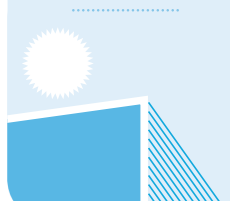
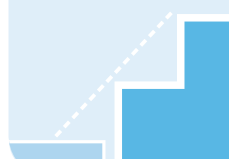
implications

- State planning policy promotes consolidation within activity centres which have good access to open space. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Alignment of Arthur Ave produces irregular lot frontages however redevelopment of these lots has the opportunity to connect to the rear laneway to increase permeability.
- Irregular street wall alignment (for inset kerb parking) to southern side of Were St interrupts pedestrian view line. Redevelopment should seek to correct the misalignment if possible. Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Lots along the north of Were St are very narrow and long, meaning redevelopment may be difficult without lot consolidation. Changes in grain through consolidation can negatively affect the fine grain character of this centre.
- There is capacity for change to the south of Were St where lot sizes are much wider. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 2 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- provide passive surveillance
- ↑ ↑ maximise northerly aspect
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
 140m (including proposed primary active frontages as shown in plan)

proposed urban form concept plan

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

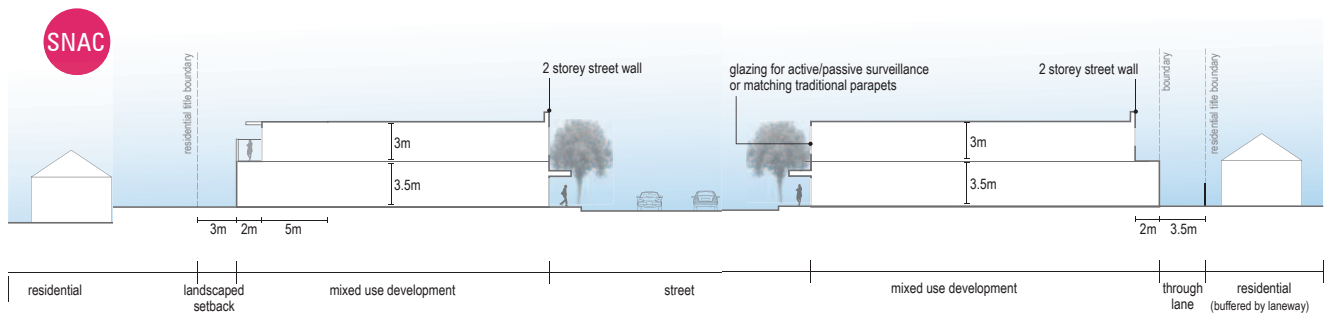
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines

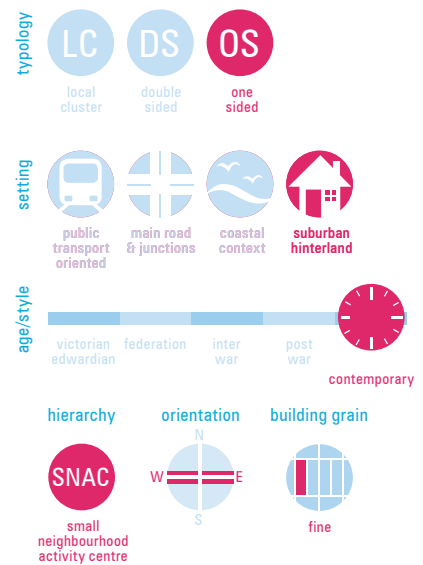


ludstone street, hampton



development capacity ★

existing conditions



primary activities

retail (restaurants, milk bar, bottle shop, cafes etc)

general building height

1 storey

area

1,400sqm

interface treatments/features

rear laneway for car park access

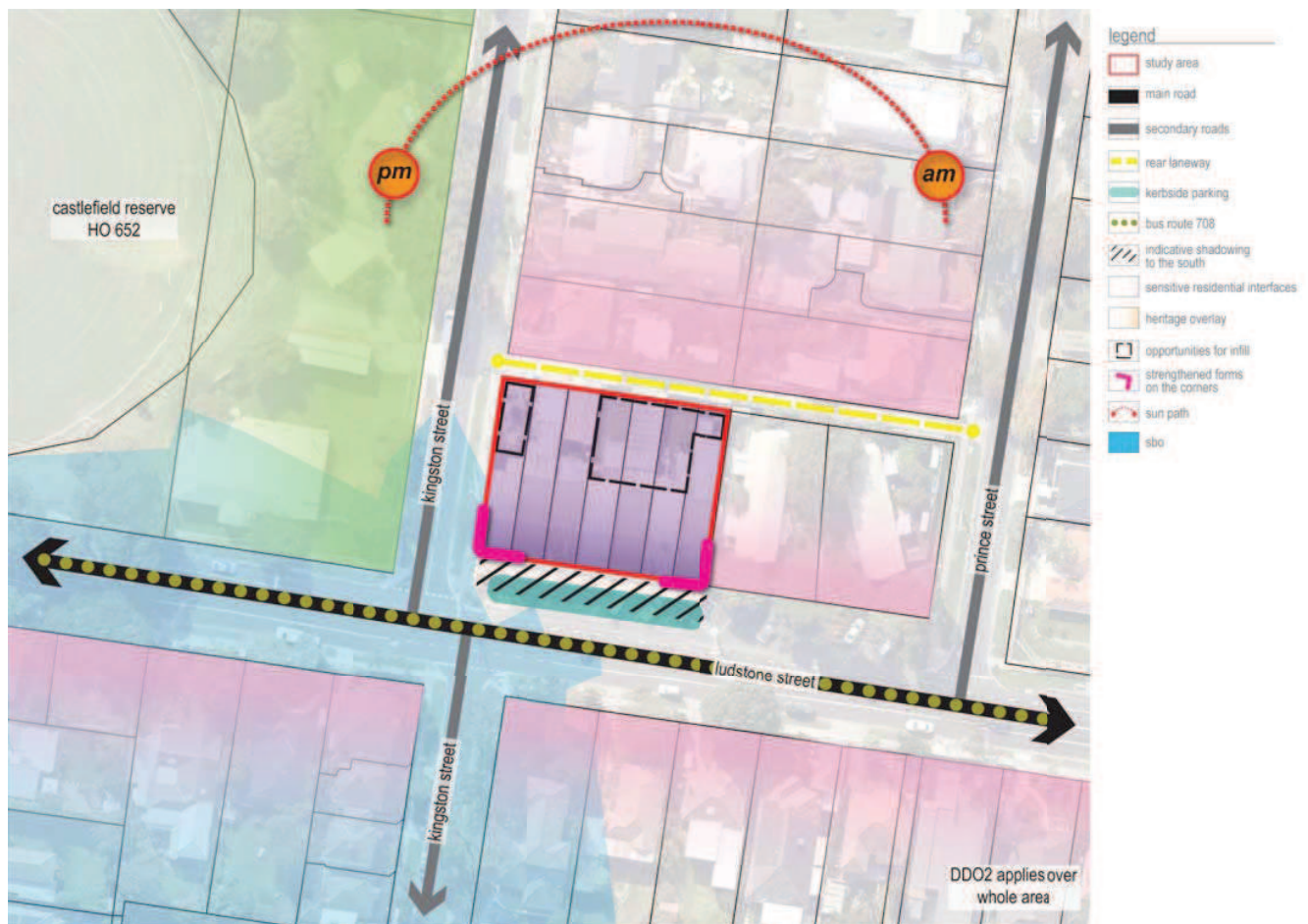
percentage of active frontage

100%

discussion

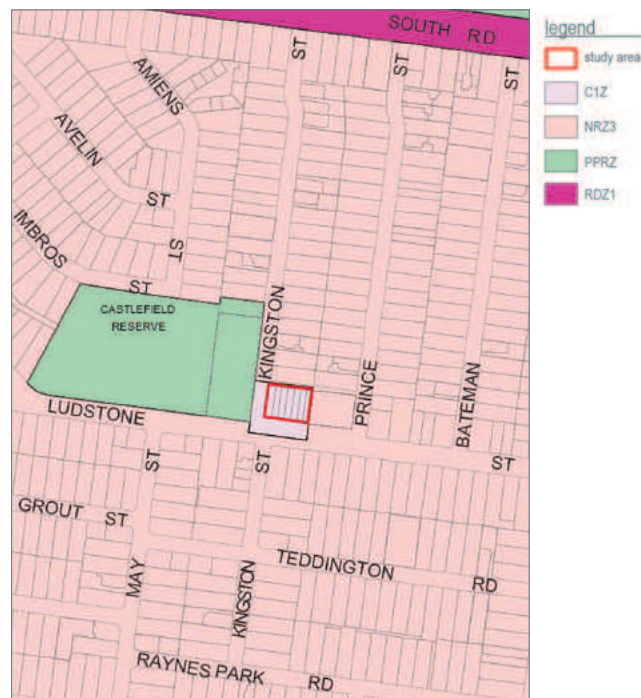
The centre is well defined with a consistent active street edge and good weather protection over the footpath. Angled parking is offset from the road alignment. Some outdoor dining has emerged at the corner with Kingston Street. The locality features a mix of mostly postwar one and two storey dwellings. Castlefield Reserve is located to the west.

opportunities and constraints




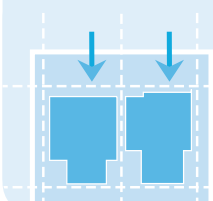
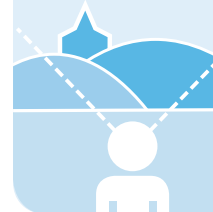


implications

- State planning policy promotes consolidation within activity centres which have good access to open space and recreational facilities. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- The laneway provides rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Sites within the centre present a consistent subdivision grain. Changes in subdivision grain through consolidation can negatively affect the fine grain character of the centre.
- There is capacity for change in rear setbacks abutting the laneway, some of which can take advantage of providing outlooks to the parkland. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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proposed urban form concept plan

legend

- study area
- 2 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect
- maximise outlook
- new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage

48m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

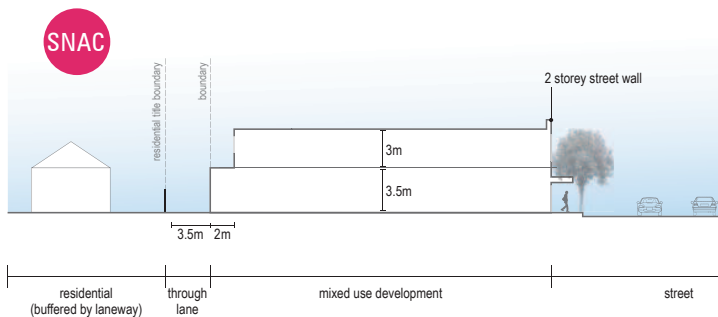
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines



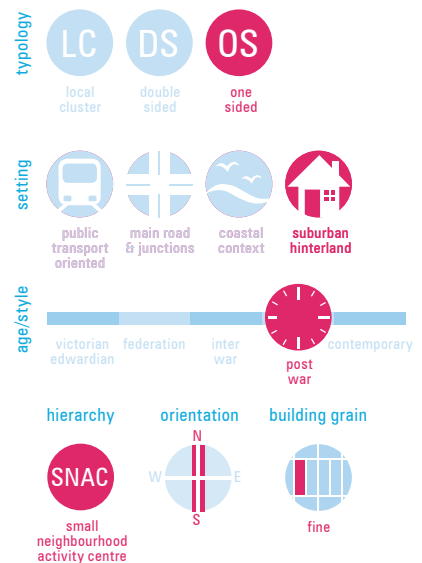
17

keith street & widdop crescent, hampton east



development capacity ★

existing conditions



primary activities

retail, residential and service business

general building height

1-2 storeys

area

1,828sqm

interface treatments/features

buffering rear and side laneways

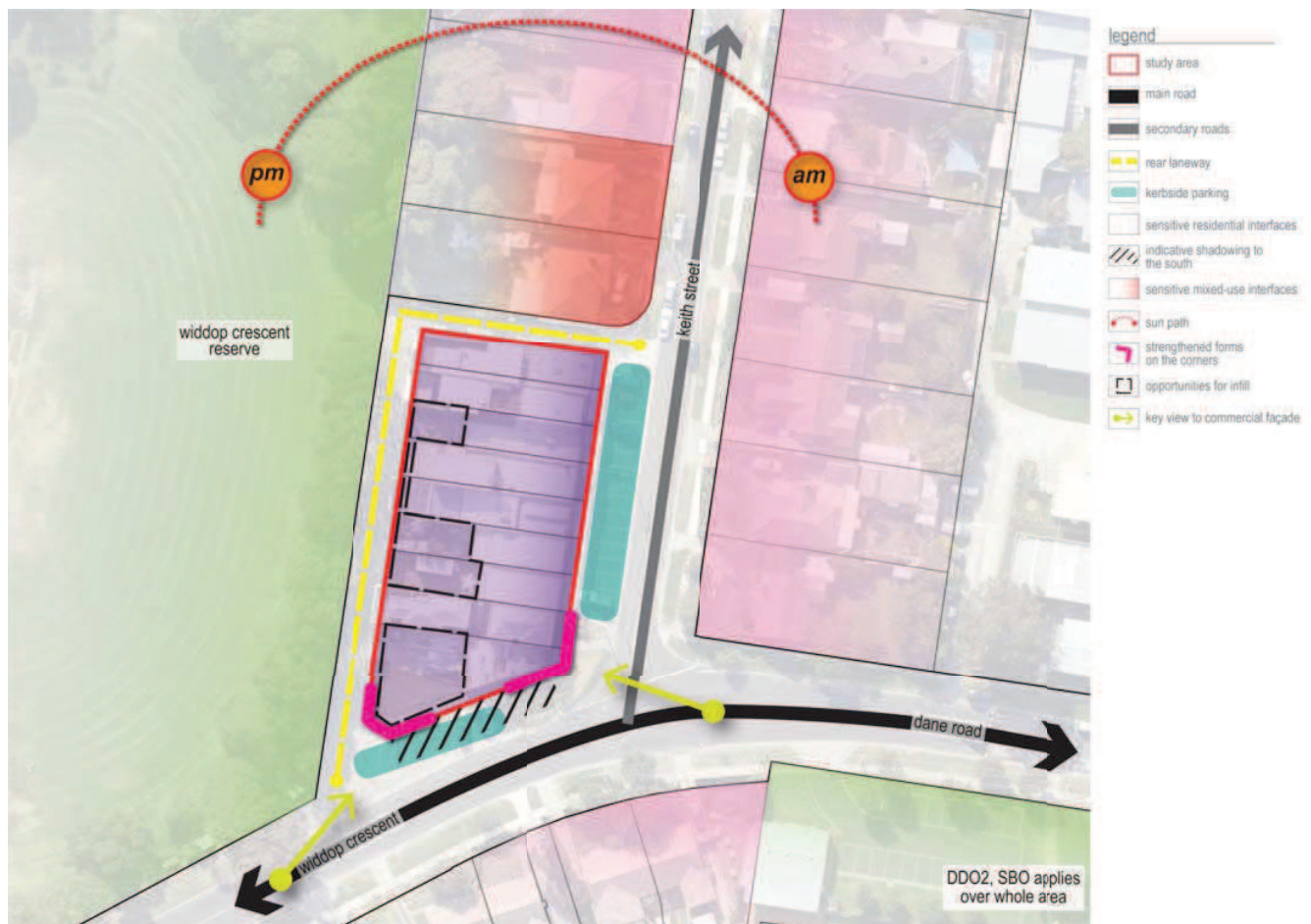
percentage of active frontage

90%

discussion

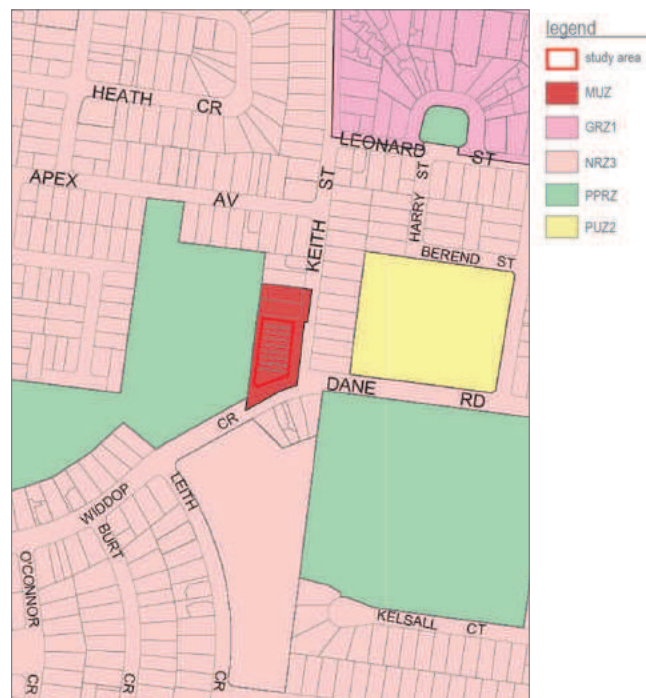
A small number of shop top housing forms have emerged in this centre. Little Avenue Reserve to the west provides a good outlook over the rear laneway for shop-top forms. The street front incorporates weather protection canopies. Perpendicular street parking is provided along both Keith Street and Widdop Crescent interfaces. Residential development in the surrounding area is mostly postwar dwellings and flats up to two storeys.

opportunities and constraints




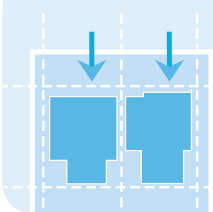
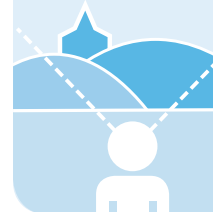


implications

- State planning policy promotes consolidation within activity centres which are well serviced by open space. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- The laneway provides rear vehicle and service access, however it also creates a barrier to direct abuttal with the parklands.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- With the exception of the southern corner site, sites within the centre present a consistent subdivision grain. Changes in subdivision grain through consolidation can negatively affect the fine grain character of the centre.
- There is capacity for change in rear setbacks abutting the laneway, all of which can take full advantage of providing outlook to the parkland.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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proposed urban form concept plan

legend

- study area
- 2 storey street wall
- transitional setbacks*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- provide passive surveillance
- maximise outlook
- new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
80m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

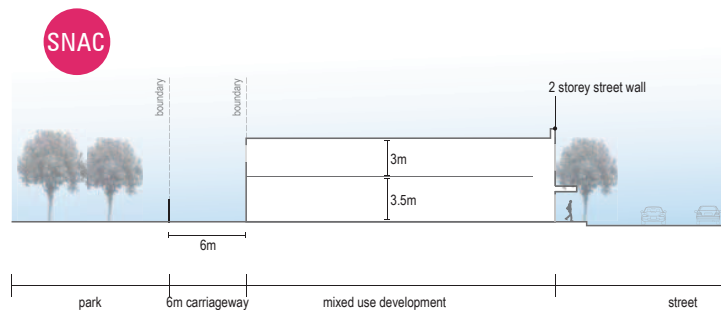
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

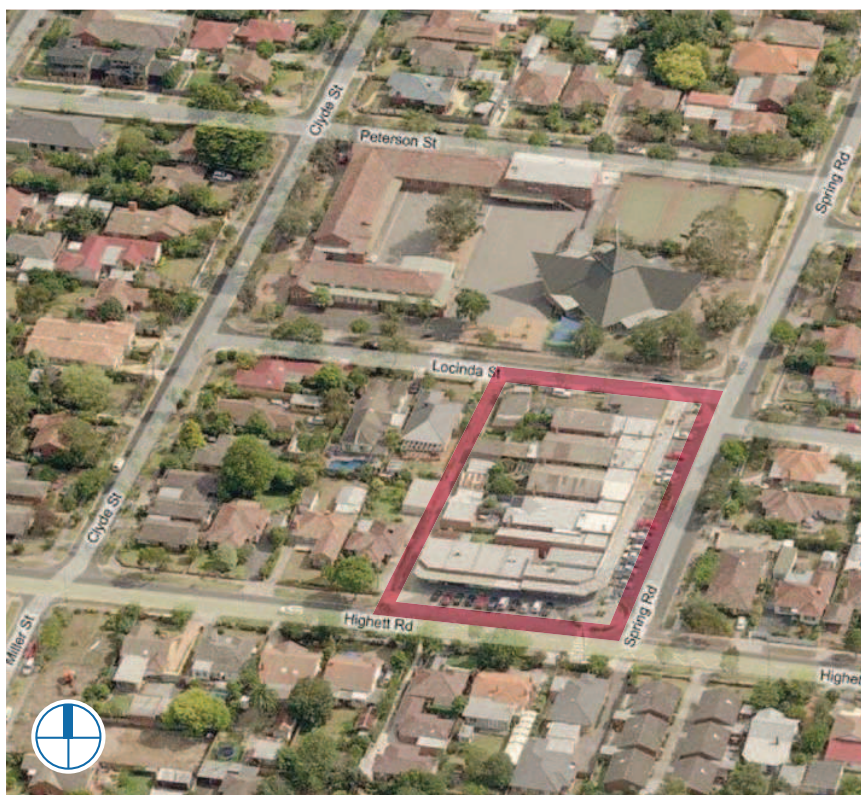


bayside small neighbourhood activity centres

urban design profiles & guidelines

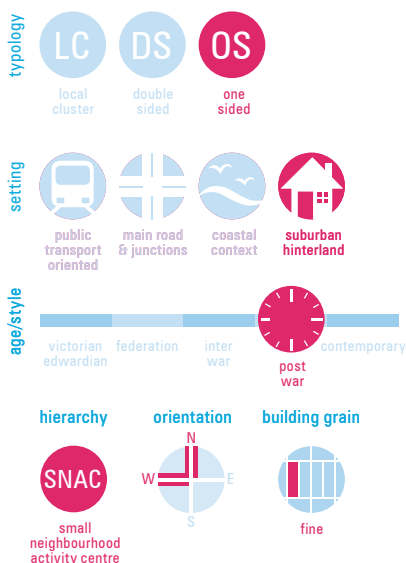


highbett road & spring road, highbett



development capacity ★

existing conditions



primary activities

retail (restaurants, hair dresser etc) and clinics

general building height

1-2 storeys with high parapets, second floors are mostly residential uses

area

3,260sqm

interface treatments/features

rear laneway for car park access buffering the site

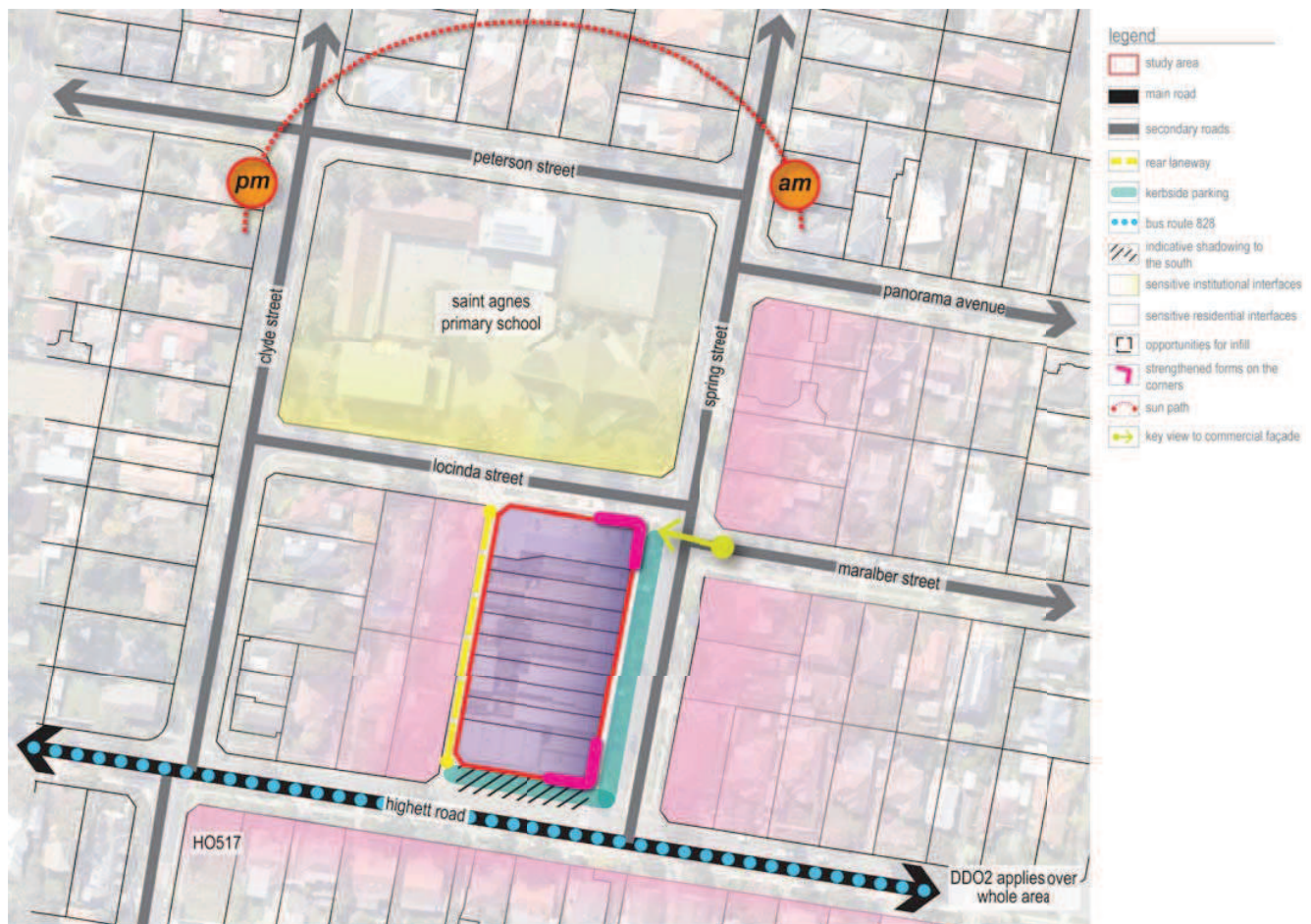
percentage of active frontage

80%

discussion

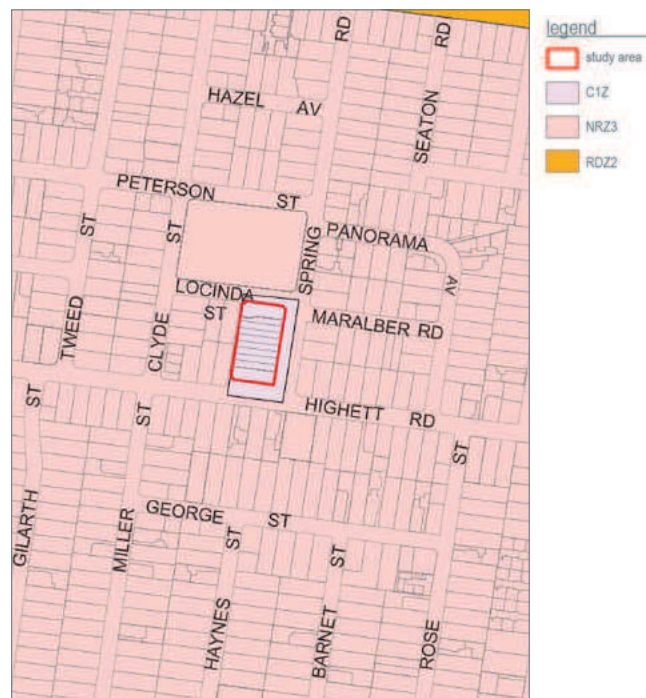
With three street frontages and a laneway surrounding this mostly single storey centre it is both contained and buffered from direct residential interfaces. It incorporates local convenience retail and medical uses, and benefits from proximity to St Agnes Primary School. Parallel parking adjoin Highett and Spring Roads. Surrounding residential development features one and two storey dwellings.

opportunities and constraints




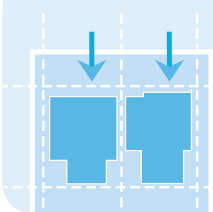
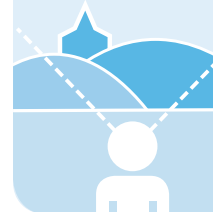


implications

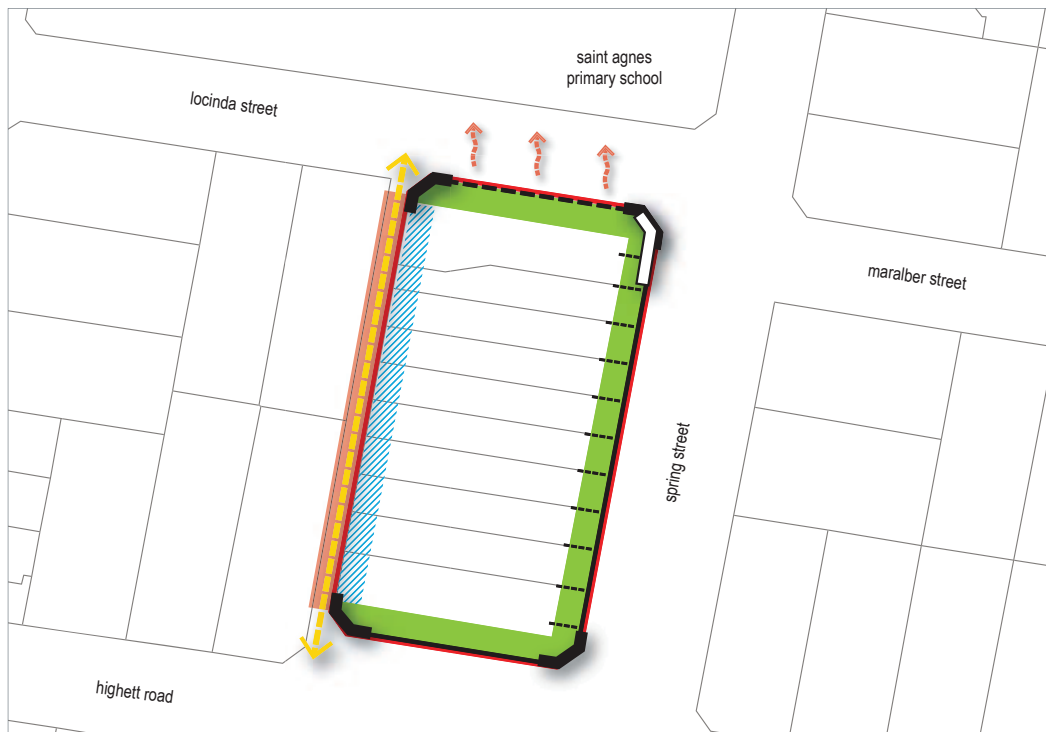
- State planning policy promotes consolidation within activity centres which are well serviced by public transport. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- A laneway provides rear vehicle and service access, as well as acting as a buffer to residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- Sites within the centre present a consistent subdivision grain. Changes in grain through consolidation can negatively affect the fine grain character of this centre.
- The site at the northern end of the centre has recently been developed. Although the laneway acts as a buffer, appropriate management of the residential interface within the centre to the residential private open space to the west is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 2 storey street wall
- transitional setbacks*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect
- new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
122m (including proposed primary active frontages as shown in plan)

proposed urban form concept plan

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland or open space should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

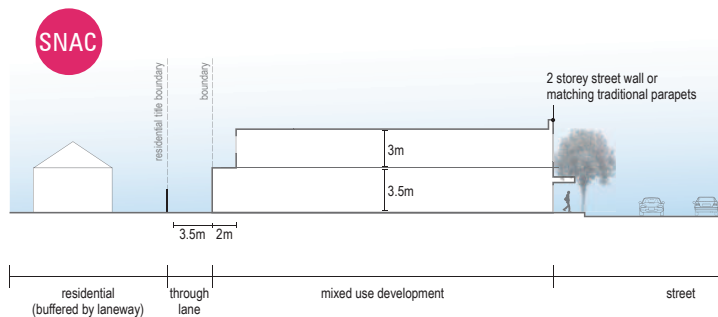
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

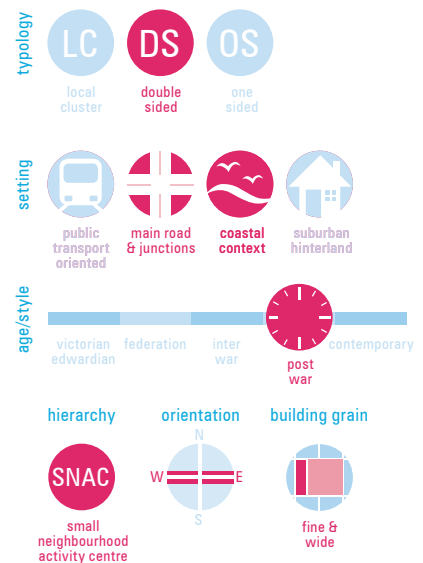
urban design profiles & guidelines



keys street shopping centre, beaumaris



existing conditions



primary activities

mix of retail (restaurants, milk bar etc), service business (offices, accountants, studios, advertisement offices etc) and residential frontages.

general building height

1-2 storeys

area

1.7 hectares

interface treatments/features

large surface car parks at the rear

percentage of active frontage

20%

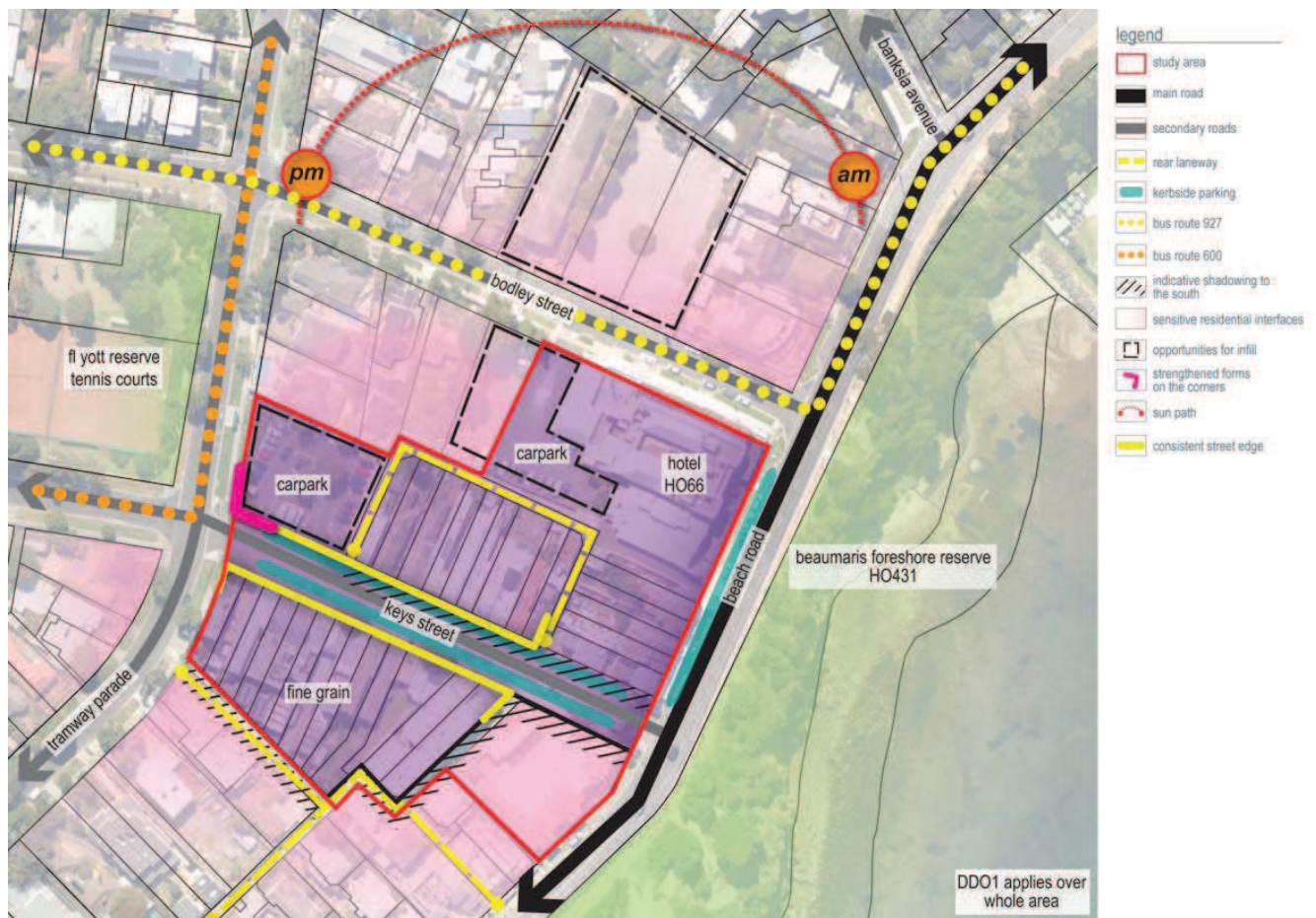
discussion

This centre comprises a few parts including Keys Street which is the main retail focus while Bodley Street and Beach Road are mixed in their format and uses. Beaumaris Hotel is a key anchor in this centre with large surface car parks. Surrounding residential area features 1-2 storey large residential buildings and recreational facilities.

development capacity ★⁺

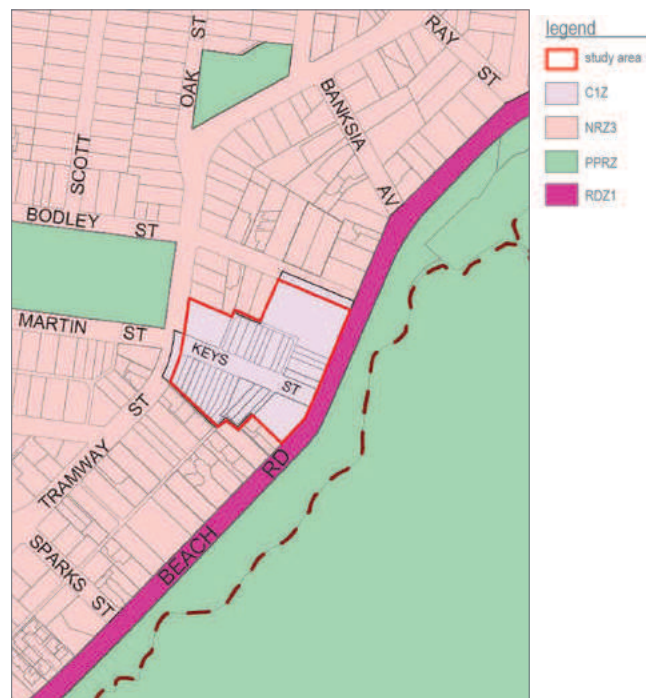
+ This centre is located within the coastal DDO1 and therefore mandatory height limits apply.

opportunities and constraints




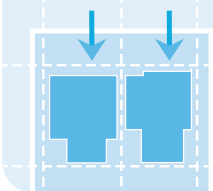
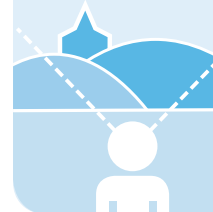


implications

- State planning policy promotes consolidation within activity centres which are well serviced by public transport and open space. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO1 seeks to protect and enhance the foreshore environs of Port Phillip Bay, limiting development along the coastline to a maximum of 2 storeys.
- Laneways provide rear vehicle and service access, as well as acting as a buffer to residential interfaces. Surface car parks buffer residential interfaces.
- Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- There is a fairly consistent subdivision grain within the centre, with the exception of some larger sites at key corner positions. Reinforcing a fine grain streetscape and human scale forms in redevelopment is important.
- There is considerable capacity for change to rear setbacks and surface car parks such as at Beaumaris Hotel. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 2 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑↑ maximise northerly aspect
- maximise outlook
- ↔ new connections/extend laneways
- ★ preserve landmark building

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
 429m (including proposed primary active frontages as shown in plan)

design guidelines

This centre is located within the coastal DDO1 and therefore mandatory height limits apply.

building height

The overall building height should not exceed 2 storeys in accordance with DDO1.

street wall

Buildings should present a street wall of up to 2 storeys with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

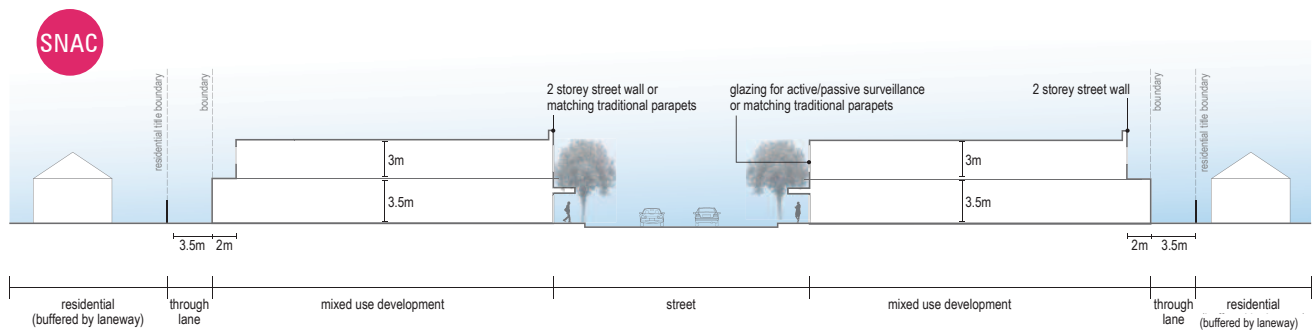
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

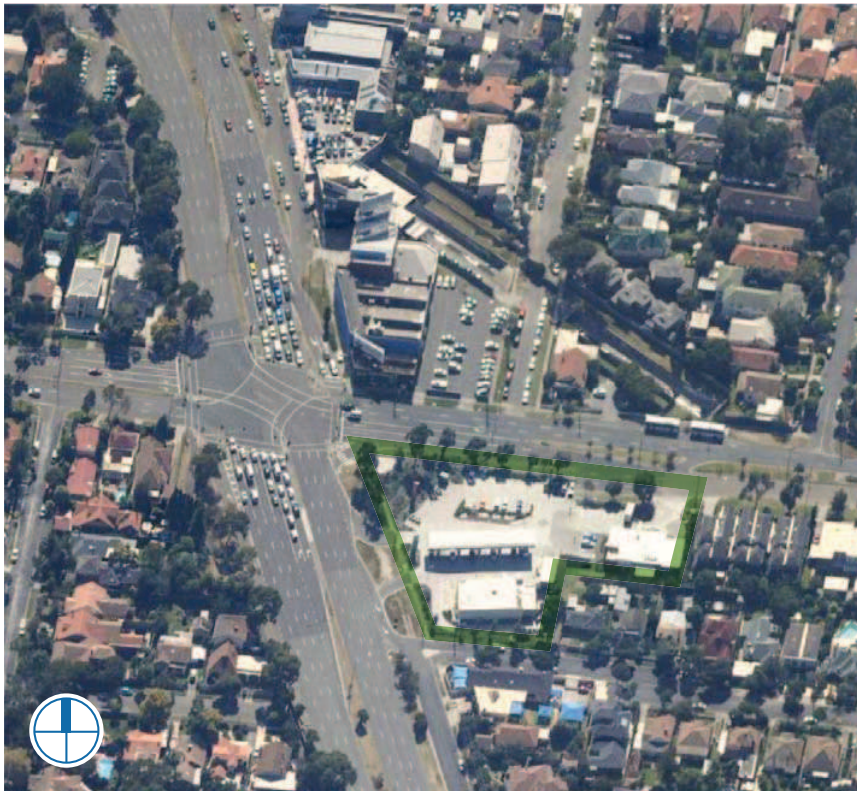


bayside small neighbourhood activity centres

urban design profiles & guidelines

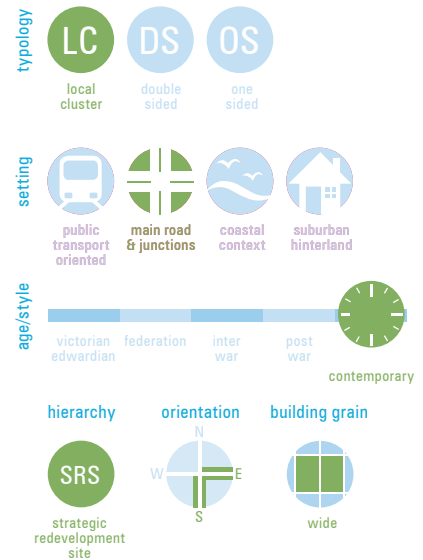


nepean highway & north road, brighton



development capacity ★

existing conditions



primary activities

car based retail precinct
(fast food, service station)

general building height

1 storey

area

4,564sqm

interface treatments/features

rear laneways for car park access

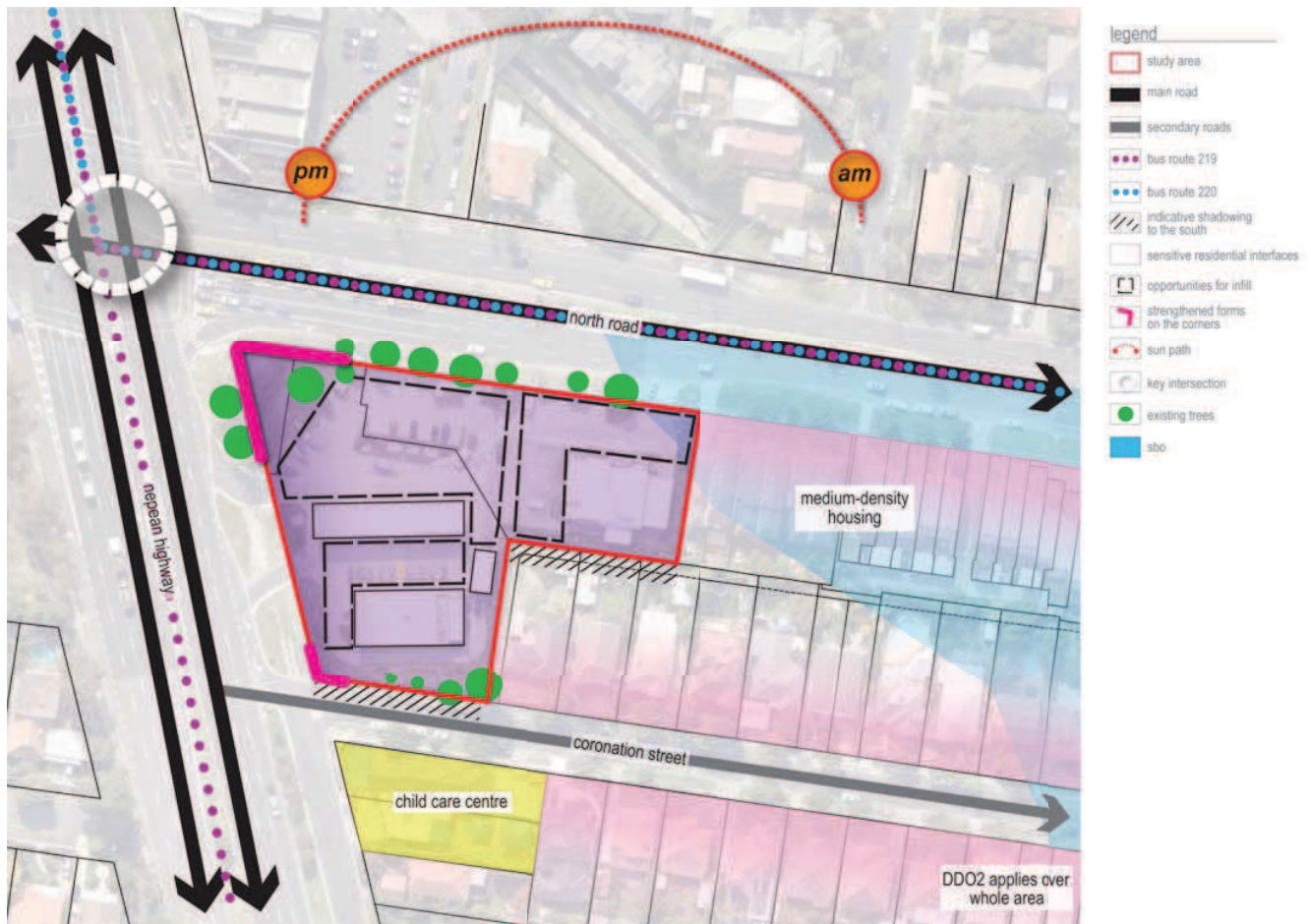
percentage of active frontage

activated but setback from the streets

discussion

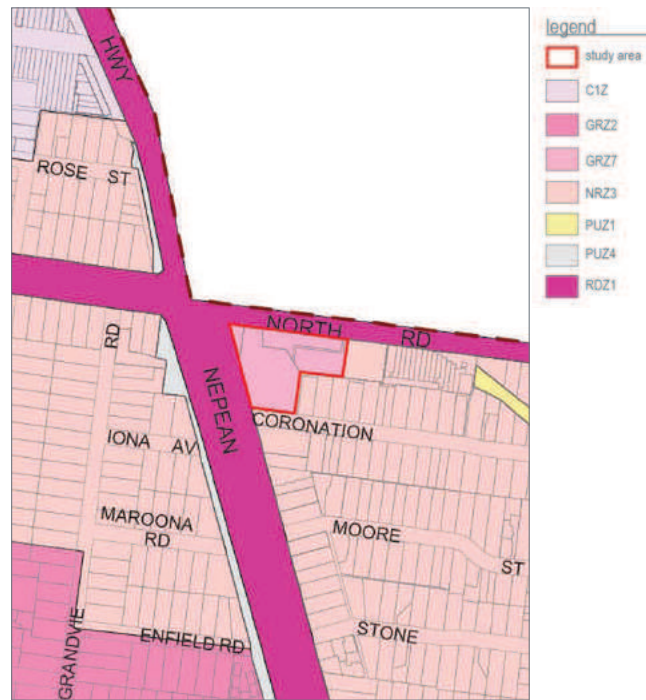
This centre is predominantly car based with a petrol station with surface car park/browsers to the street and buildings well setback from North Road / Nepean Highway. Coronation Street and a child care centre are opposite to the south whilst residential dwellings are immediately adjacent to the east. Activity is quite removed from the main pedestrian interfaces of North Road / Nepean Highway.

opportunities and constraints




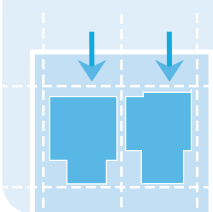
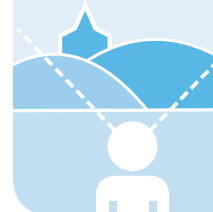


implications

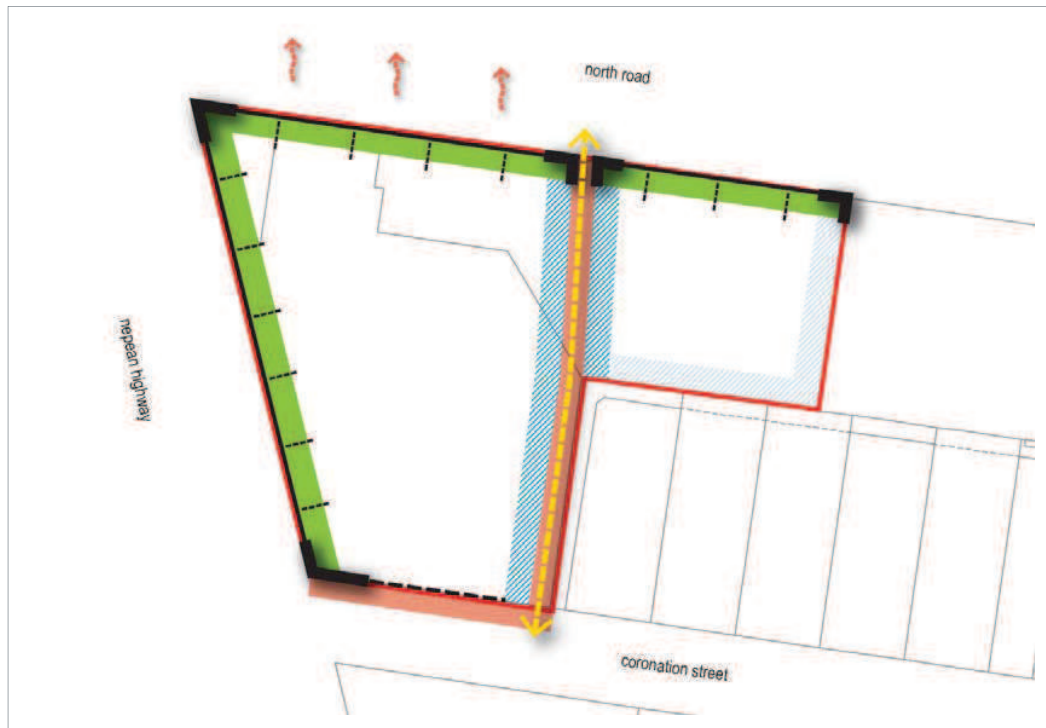
- State planning policy promotes consolidation within activity centres that are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- The centre comprises one large corner site with three road frontages (two being major roads), providing the opportunity for several configurations of built form massing and access to be realised across the site, as well as a more intense built form to be absorbed towards the corner. Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks. Prioritisation of pedestrian street interfaces should be incorporated into any redevelopment.
- Appropriate management of the residential private open space to the east is necessary having regard to overlooking, overshadowing and visual bulk effects.
- The size and proportions of the site may enable higher forms than proposed given the ability for generous setbacks and landscaped edges to be incorporated in any redevelopment.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 2 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abutment*
- announce corner through design treatments
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑ ↑ maximise northerly aspect
- ↔ new connections/extend laneways

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
 210m (including proposed primary active frontages as shown in plan)

proposed urban form concept plan

design guidelines

building height

The overall building height should not exceed 2 storeys (up to 9m).

street wall

Buildings should present a street wall of up to 2 storeys (up to 9m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

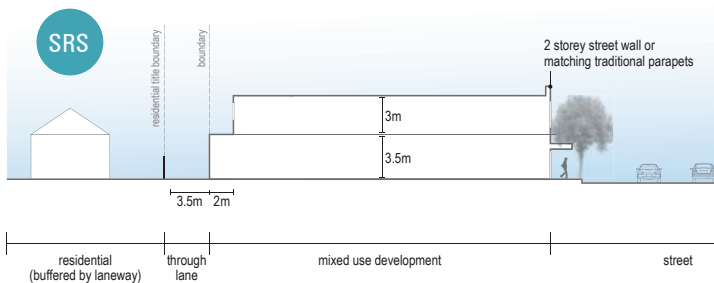
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

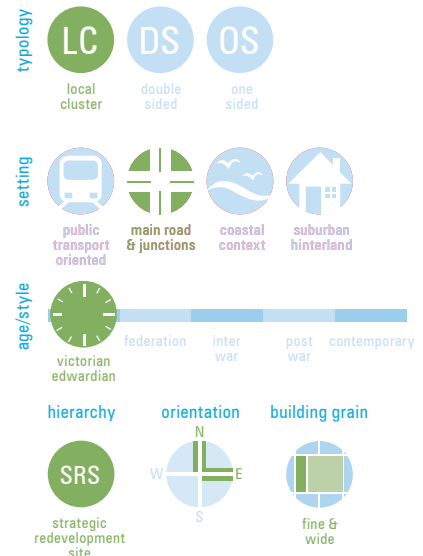
urban design profiles & guidelines



nepean highway & milroy street, brighton east



existing conditions



primary activities

retail and office (pet shop, car sales showroom)

general building height

1-2 storeys

area

4,768sqm

interface treatments/features

rear laneways for car park access

percentage of active frontage

10% (large glazed gallery fronts, blank walls, obscured shop frontages)

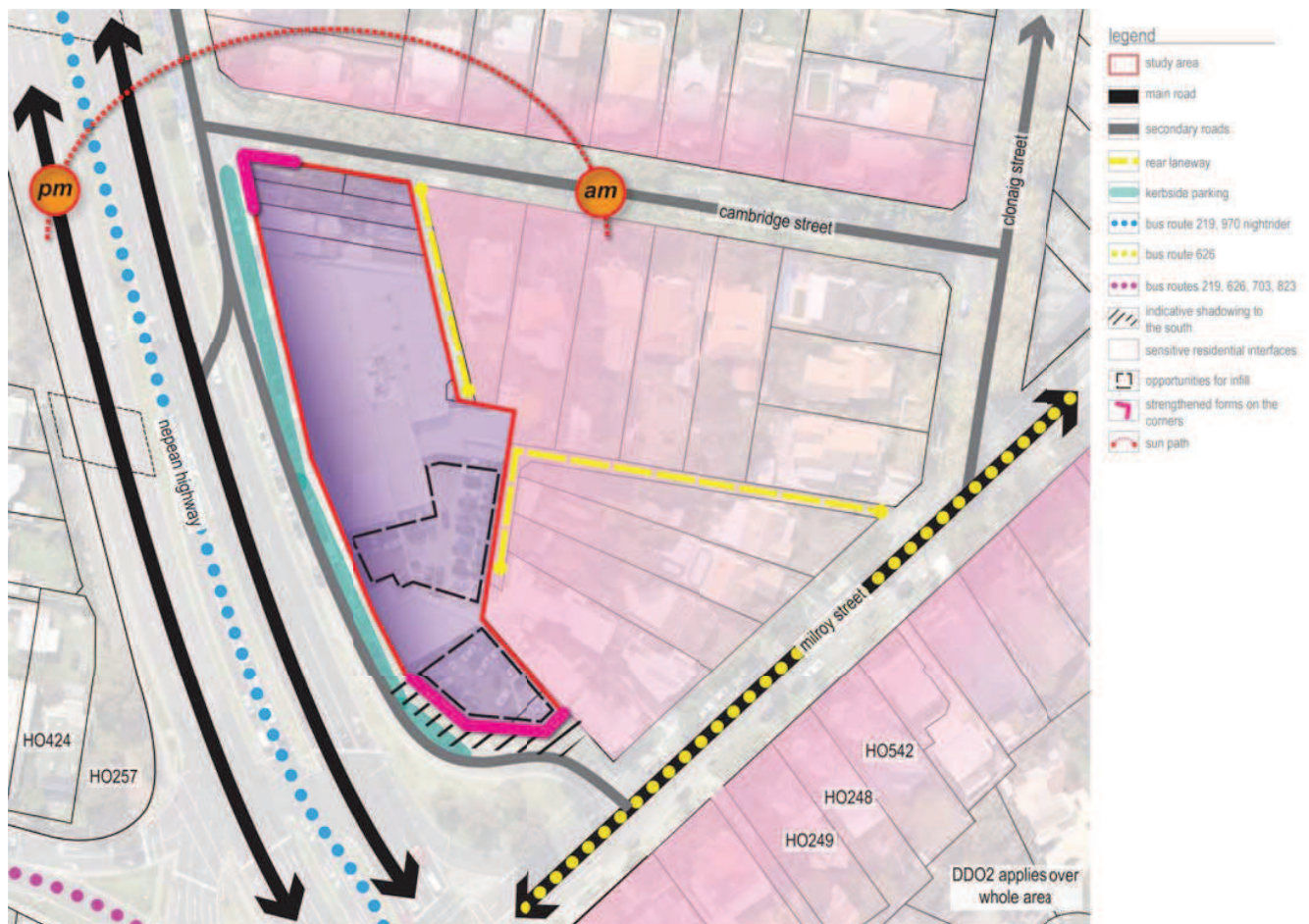
discussion

With highway frontage this centre is a mix of old two storey shopfronts (north end) and a contemporary car showroom (south end). Retail and commercial uses continue to the south of the Nepean Highway / Milroy Street intersection. Direct residential interfaces to the east and land fall to the east result in the centre being elevated in comparison to its surrounds. Service road access enables kerbside car parking.



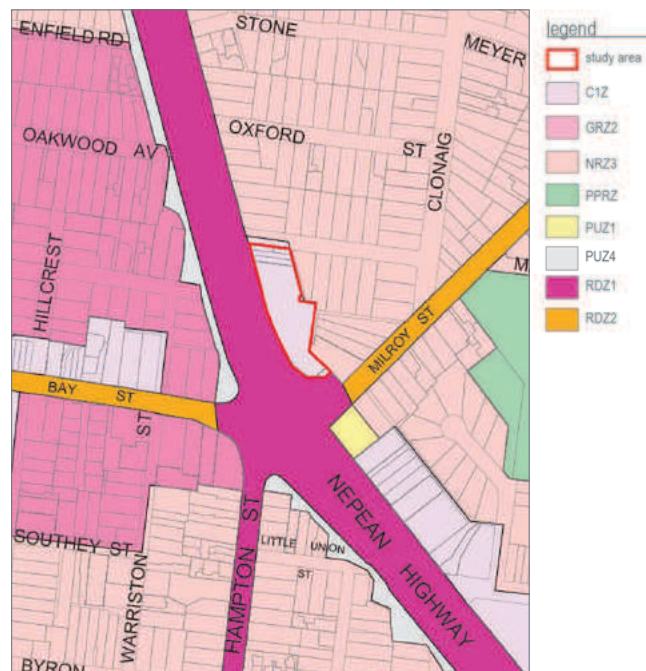
development capacity ★★★★★

opportunities and constraints




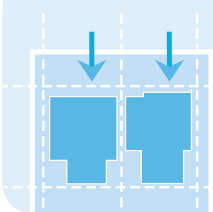
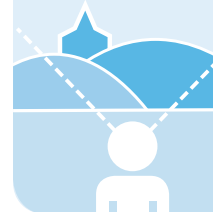


implications

- State planning policy promotes consolidation in activity centres which are along key arterial roads that are well serviced by public transport. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. Some rear laneway access exists providing buffers to adjacent residential. A scattering of other business land (south and west) forms a disconnected commercial/retail node.
- DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- Atypical road alignments of Milroy St and Nepean Hwy result in irregular shaped lots with prominent corners and highly visible frontages offering opportunity to distinguish the centre's identity and represent key local orientation marker.
- With a mix of traditional fine grain and broad grain showroom buildings, future redevelopment should seek to establish a street rhythm, grain and human scale reflecting the traditional form.
- Several configurations of higher built forms may be realised on the showroom site. However, appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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proposed urban form concept plan

legend

- study area
- 3 storey street wall
- capacity for 4th recessive storey
- transitional setbacks*
- announce corner through design treatments
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑ maximise northerly aspect
- ↔ new connections/extend laneways
- pedestrian thoroughfare

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

length of primary active frontage
170m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 4 storeys (up to 13.5m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level. Floor levels above the street wall should be setback 5m from the street wall.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except at the fourth storey.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level
- 15m at 4th storey level.

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

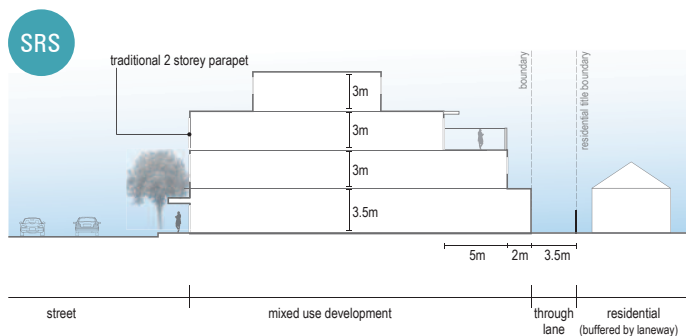
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.



bayside small neighbourhood activity centres

urban design profiles & guidelines

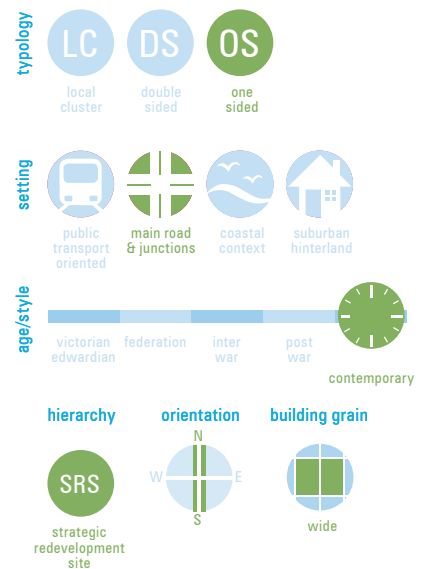


nepean highway & union street, brighton east



development capacity ★★

existing conditions



primary activities

mix of retail, bulky goods and some shop top housing

general building height

1-2 storeys

area

1.95ha

interface treatments/features

rear laneway exist to northern area and parkland interface on the southern boundary

percentage of active frontage

30%

discussion

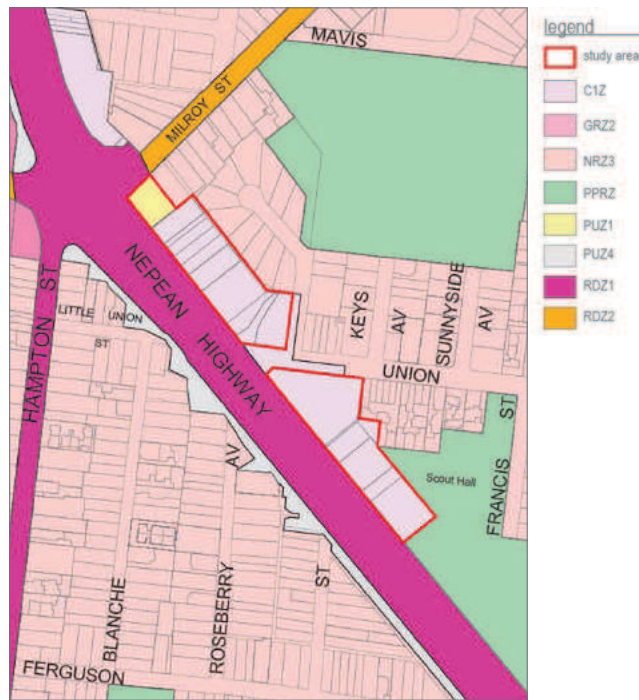
This lengthy strip centre consists of larger format frontages to Nepean Highway with service roads including parallel on-street car parking. The larger format retail and service centre has a range of uses with a number of surface car parks. The centre is anchored by key retail uses with a highway address such as Retro Vision, Dan Murphy's and JB HI-FI. In general the shopping strip has limited street activation and varied building typology comprising of flat and pitched roofs. The centre has a blank wall interface to the park.

opportunities and constraints




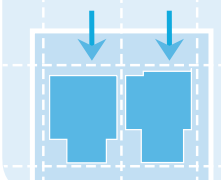

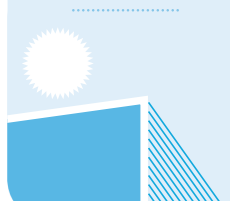
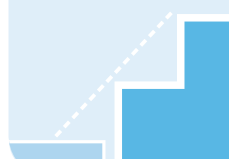
implications

- State planning policy promotes consolidation along key arterial roads. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO2 seeks to maintain the prevailing streetscape rhythm, building scale and height of the neighbourhood, requiring a permit to be sought for development of more than 2 storeys.
- The atypical road alignments of Nepean Highway, Milroy Street and Union Street, result in irregular shaped lots, including large prominent corner parcels. Located on a wide major road, these lots provide an opportunity for landmark building, distinguishing the centres identity.
- Future redevelopment should seek to provide a regular street rhythm and respond to the prominent highway frontage and park address.
- Consideration must be taken to the southern park interface to provide direct or indirect activation and passive surveillance, allowing a level of integration with the park.
- Appropriate management of the residential interface to the east is necessary having regard to overlooking, overshadowing and visual bulk effects of future redevelopments.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 3 storey street wall
- transitional setbacks*
- transitional setbacks to direct residential abuttal*
- announce corner through design treatments
- design detail at street vista termination point
- reflect broader subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- maximise northerly aspect
- maximise outlook
- new connections/extend laneways
- pedestrian thoroughfare

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
 479m (including proposed primary active frontages as shown in plan)

design guidelines

building height

The overall building height should not exceed 3 storeys (up to 11m).

street wall

Buildings should present a street wall of up to 3 storeys (up to 11m) with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level
- 10m at 3rd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland or open space should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

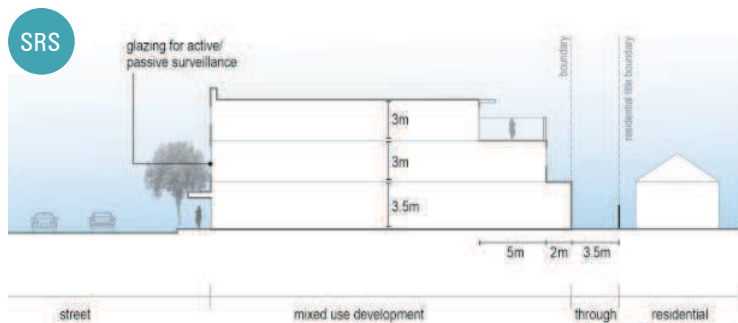
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

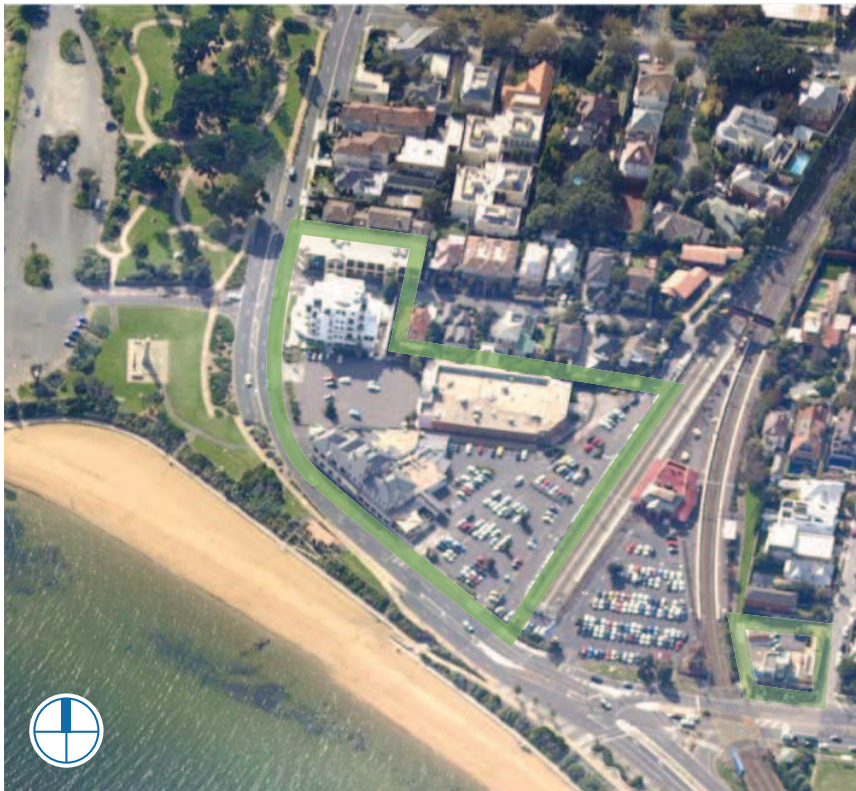


bayside small neighbourhood activity centres

urban design profiles & guidelines



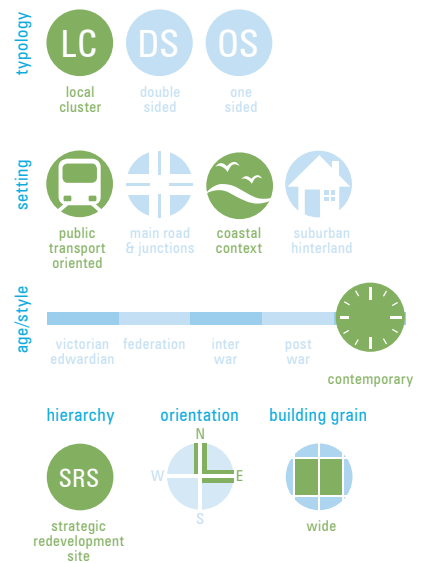
south road & esplanade avenue and around milano's, brighton



development capacity ★⁺

⁺ This centre is located within the coastal DDO1 and therefore mandatory height limits apply.

existing conditions



primary activities

other (milano's restaurant, health club, surface car parks and office buildings)

general building height

3-5 storeys

area

1.45 hectares

interface treatments/features

rear and side laneways for car park access

percentage of active frontage

inactive frontage (there are restaurant and office uses at ground floor but invisible and inactive in perception)

discussion

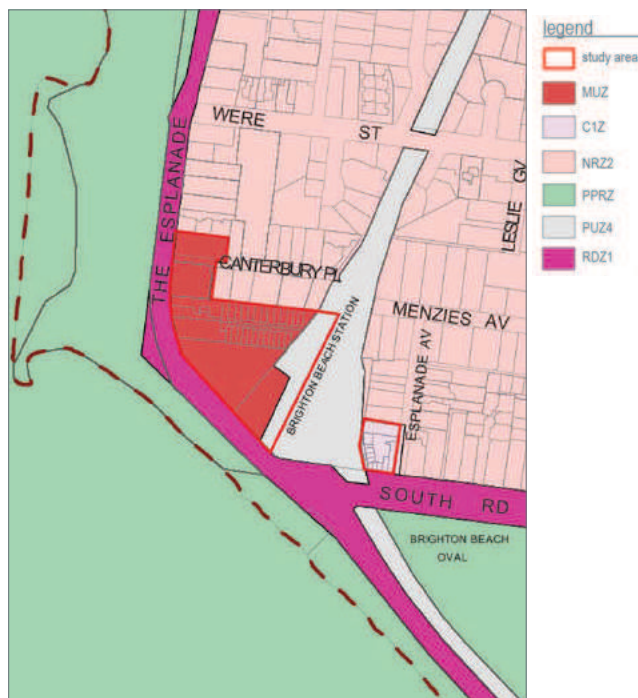
The centre has a number of robust buildings including heritage forms and apartment/office buildings. Brighton Beach Station (heritage buildings) immediately abut the centre to its eastern edge. It's position at a bend in The Esplanade and proximity to foreshore and reserves result in a high profile location and prominence in the local urban form. Substantial areas of surface car park detract from the overall presentation of the centre.

opportunities and constraints




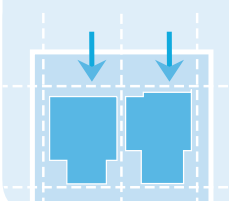

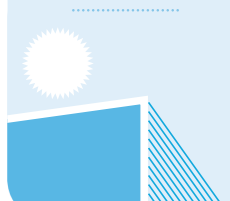
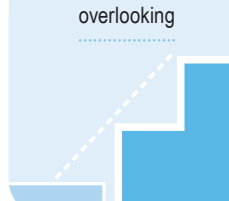
implications

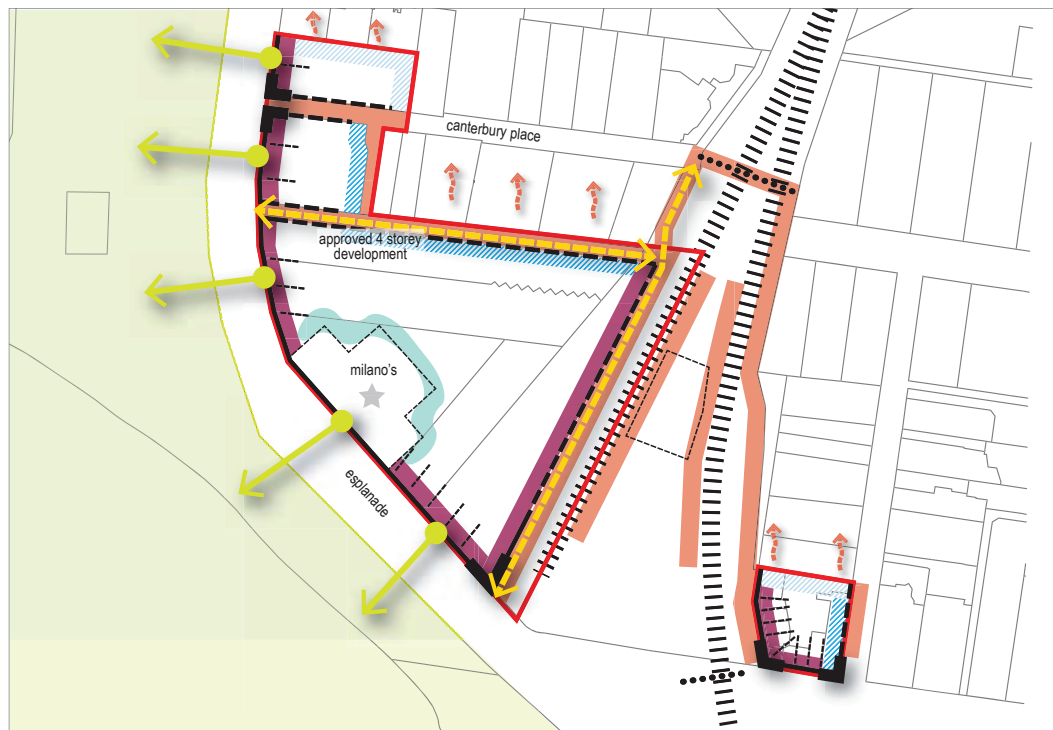
- State planning policy promotes consolidation within activity centres which are along key arterial roads that are well serviced by open space. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. The DDO1 seeks to protect and enhance the foreshore environs of Port Phillip Bay, limiting development along the coastline to a maximum of 2 storeys.
- The irregular alignment of The Esplanade / Beach Rd and the railway line creates an atypical and impermeable street network resulting in large irregular shaped lots.
- Milano's (listed on Victorian Heritage Register) two storey Victorian era building is a key character asset of this precinct. Maintaining viewlines and an appropriate physical relationship in the curtilage of the building is important.
- Future infill development should seek to; create a human scale streetscape, reflect fine grain detailing, provide improved passive surveillance, provide improved street edge integration and generate a stronger pedestrian and visual connection between the centres either side of the railway lines
- Approved/existing mid rise buildings of 4-5 storeys are within the precinct.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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legend

- study area
- 2 storey street wall with additional setbacks to milano's
- transitional setbacks*
- announce corner through design treatments
- reflect subdivision grain
- primary active frontage
- secondary active frontage
- provide passive surveillance
- ↑↑ maximise northerly aspect
- ↔ maximise outlook
- ↔↔ new connections/extend laneways
- existing pedestrian crossing
- buffer to heritage building
- heritage building
- ★ preserve landmark building

* transitional setbacks to limit overlooking, overshadowing and visual impact on adjoining residential areas

proposed urban form concept plan

length of primary active frontage
 342m (including proposed primary active frontages as shown in plan)

design guidelines

This centre is located within the coastal DDO1 and therefore mandatory height limits apply.

building height

The overall building height should not exceed 2 storeys in accordance with DDO1.

street wall

Buildings should present a street wall of up to 2 storeys with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

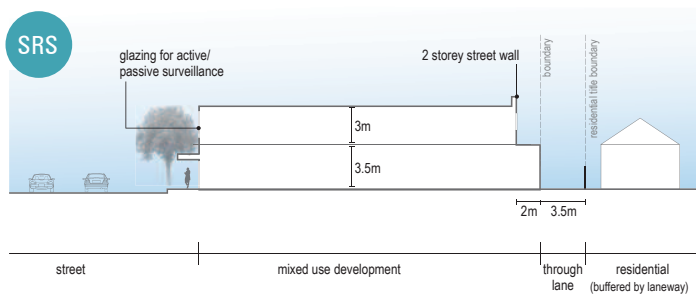
- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

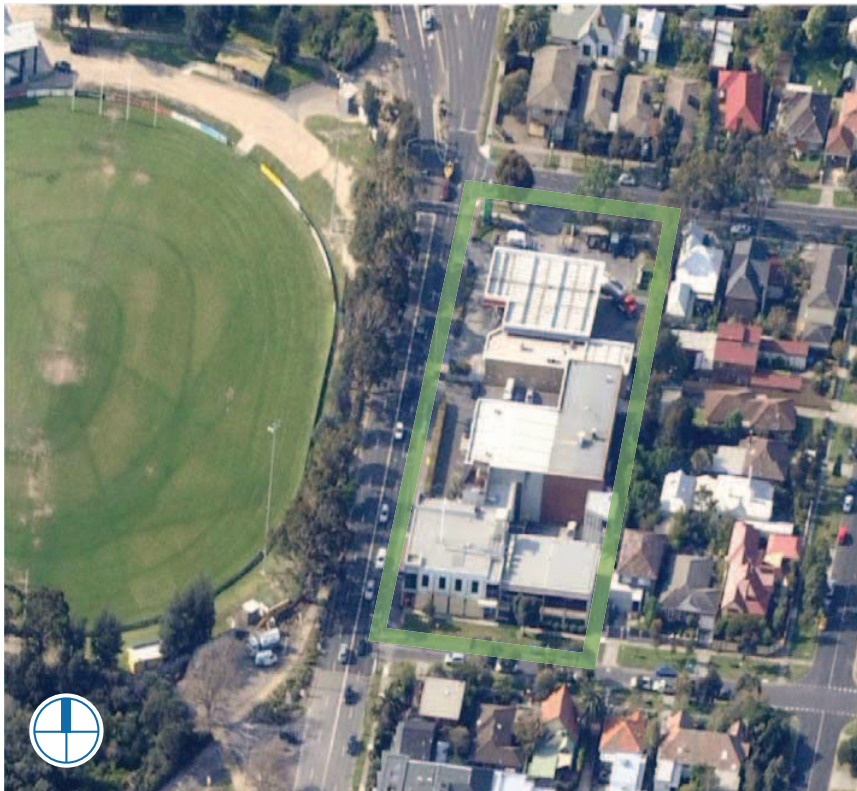


bayside small neighbourhood activity centres

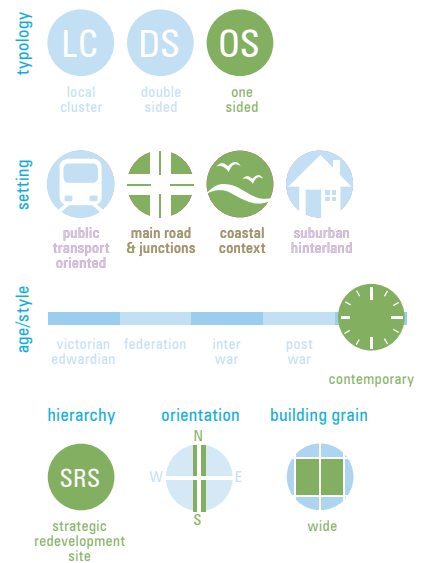
urban design profiles & guidelines



beach road & georgiana street, sandringham



existing conditions



primary activities

retail

general building height

2 storeys

area

5,004sqm

interface treatments/features

rear laneways for car park access

percentage of active frontage

10%

discussion

The two storey forms in this centre include some built to the street edge and others which are setback with car parking to the front. A petrol station abuts Bridge Street to the north. Beach Road is a major arterial road and given the proximity to the Hampton Street intersection, there is minimal street based parking on Beach Road. Established substantial canopy trees align the west side of Beach Road. Sandringham Football Oval opposite to the west is surrounded by high solid fencing.

development capacity ★⁺

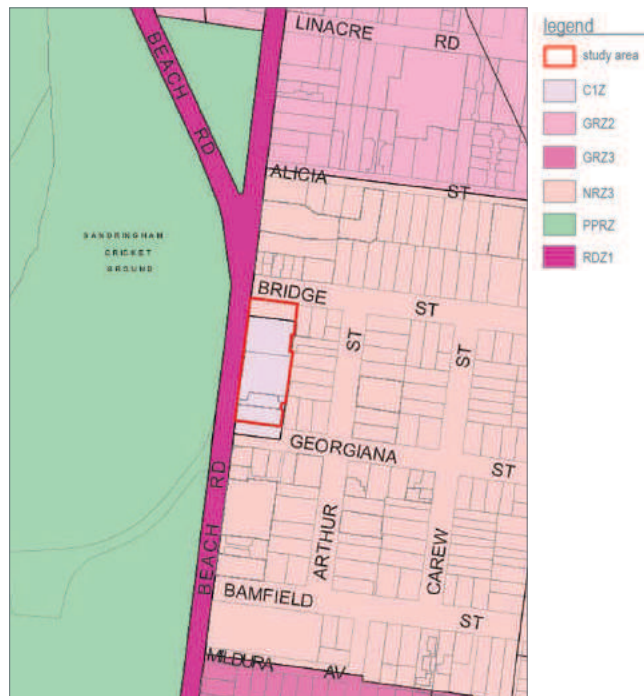
⁺ This centre is located within the coastal DDO1 and therefore mandatory height limits apply.

opportunities and constraints




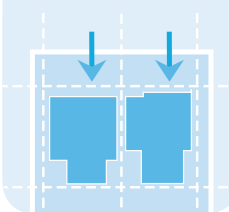
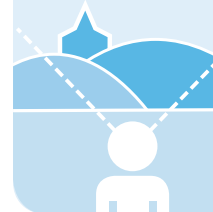


implications

- State planning policy promotes consolidation within activity centres which are well serviced by public transport and open space. Sites fronting Road Zone 1 land typically have a greater capacity to accommodate a more robust built form. DDO1 seeks to protect and enhance the foreshore environs of Port Phillip Bay, limiting development along the coastline to a maximum of 2 storeys.
- The rear laneway has limited permeability, however provides some vehicle and service access to the southern sites, as well as acting as a buffer the residential interface.
- This centre has several large sites of varying width. Buildings are positioned irregularly across lots, creating a disjointed pedestrian view line and future redevelopment should establish a continuous street edge and reflect fine grain, human scale proportions. Prominent corners are an opportunity to distinguish the centre's identity and are key local orientation marks.
- There is capacity for change on sites with street setbacks. Appropriate management of the residential interface is necessary having regard to overlooking, overshadowing and visual bulk effects.



key urban design criteria

Small Neighbourhood Activity Centres & Strategic Redevelopment Sites are places for residential consolidation and change. Redevelopment of these precincts is actively supported and should be influenced by the following factors:

<p>physical context</p> <p>Ensure linkages with existing parapets and / or roof forms</p> <p>Have regard to surrounding urban form and building types</p> <p>Reiterate surrounding subdivision pattern and grain</p> 	<p>site planning</p> <p>Encourage site design that is place responsive</p> <p>Ensure primary address to the street with service entries to rear laneways</p> <p>Provide active frontages (including at upper levels) that support passive surveillance</p> 	<p>views + aspect</p> <p>Protect and reinforce views to key buildings and features</p> <p>Design with regard to the natural setting and potential aspect</p> <p>Provide sensitive treatment around landmark features and heritage buildings</p> 	<p>solar access</p> <p>Avoid casting unreasonable shadow over residential private open space</p> <p>Configure development to ensure sunlight to public spaces at the equinox</p> <p>Optimise the northerly aspect in new development</p> 	<p>interfaces</p> <p>Ensure transitions to residential surroundings for amenity purposes</p> <p>Design all visible façades to ensure attractive edges and public presentation</p> <p>Configure development to limit the potential for visual bulk and overlooking</p> 
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proposed urban form concept plan

length of primary active frontage

148m (including proposed primary active frontages as shown in plan)

design guidelines

This centre is located within the coastal DDO1 and therefore mandatory height limits apply.

building height

The overall building height should not exceed 2 storeys in accordance with DDO1.

street wall

Buildings should present a street wall of up to 2 storeys with a zero street setback to maintain consistent commercial frontage at ground level.

rear/side setback

Buildings abutting business zoned land should not be setback from abutting business zoned land except above the street wall.

Buildings should be setback from a residential title boundary as follows:

- 3m at ground level*
- 5m at 2nd storey level

* Where a through laneway separates new development from a residential title boundary, the laneway width can form part of the setback measurement at ground level.

Setbacks may be reduced if a building abuts a residential title to the side boundary, provided that development can maintain adequate sunlight access to the dwelling's private open space in accordance with Clause 55.04-5.

Development with direct abuttal to a no-through access laneway will need to consider the provision of appropriate access as part of any development proposal.

public realm

Encourage active uses at ground floor oriented towards and engaging with the street.

Incorporate human activity and passive surveillance opportunities (e.g. windows, balconies) to all public frontages including use of perforated screens and visually permeable wall surface treatments to laneways.

Buildings interfacing parkland should maximise outlook from balconies and windows.

access

Prioritise pedestrian access and ensure a good sense of building address.

Encourage concealment of car parking at basement or the rear of buildings.

Encourage use of existing laneways for vehicle access from the side and rear of buildings.

Provision of bicycle parking and access should be legible and convenient.

design detail

Retain fine grain frontages and street rhythm with regular vertical divisions.

Building massing and detail should demarcate key street corners and key street viewlines through the following techniques:

- variations in parapet details.
- incorporating more intricate detail and visual interest (e.g. colour, material variations)
- maintaining human scale proportions
- incorporating focal points of activity and building entries
- wrapping design treatments around building corners or alterations in building alignment

Ensure all elevations visible to the public realm are fully designed.

Architectural detailing and building form should provide for a balance of horizontal and vertical elements.

esd

Encourage buildings to maximise natural light access and ventilation including orientation of offices, habitable room windows and balconies to the northerly aspect.

